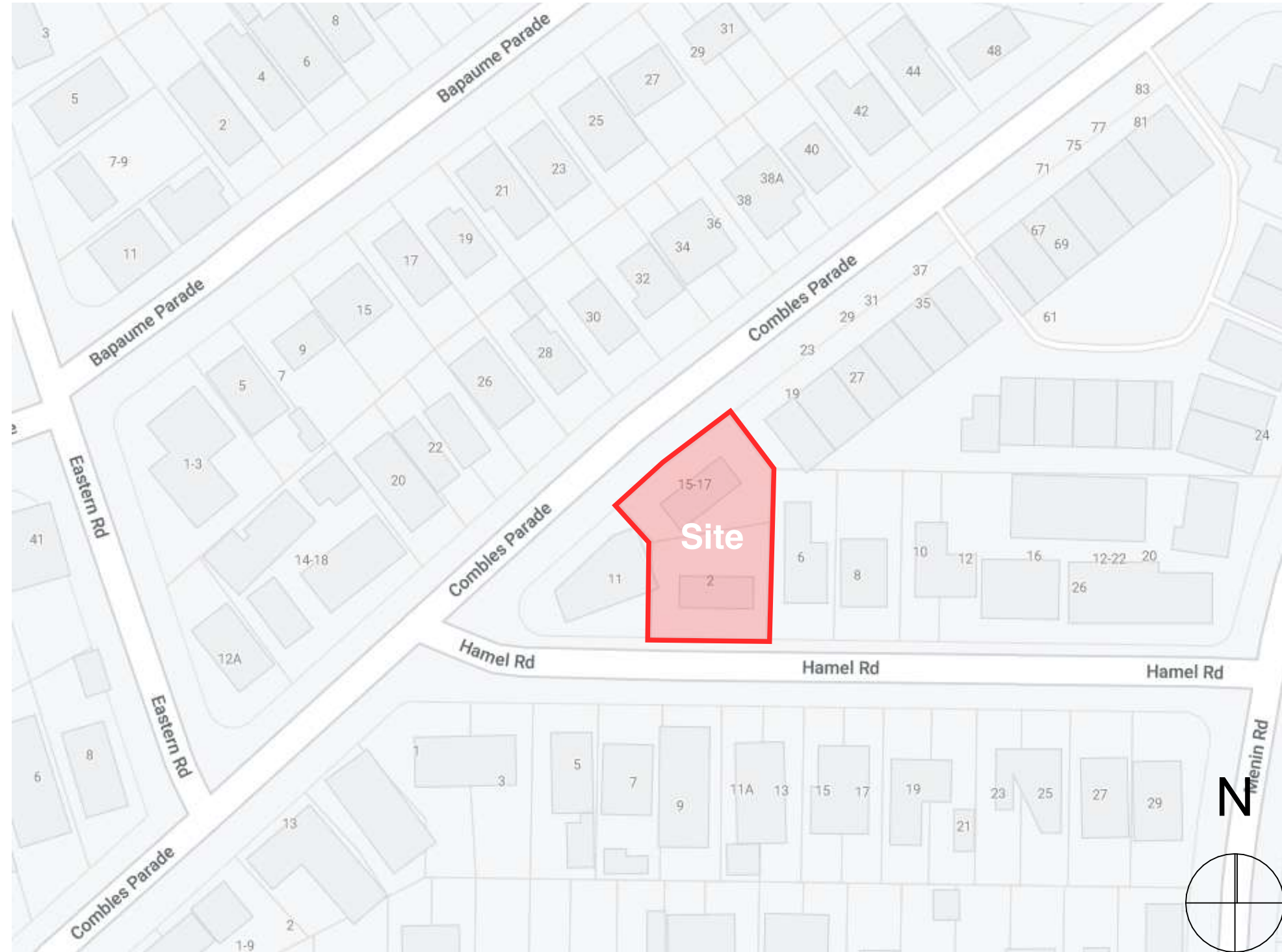


LAHC, Seniors living Development (x8 Units)  
15-17 Combles Pde & 2-4 Hamel Rd, Matraville, NSW  
Part 5 Issue

Lots 34 & 36, DP 36250  
Wednesday, 25th October 2023

Architectural Drawing Schedule			Civil Drawing Schedule			Landscape Drawing Schedule			Survey Drawing Schedule		
2701.21	DA00	Cover Sheet & Location Plan	210280	C01	Notes & Legends	2701.21	L01	Landscape Plan	5949-DET1_B	1	Survey Plan Showing Details & Levels
2701.21	DA01	Location Analysis	210280	C02	Ground Floor Drainage Plan	2701.21	L02	Landscape Details	5949-DET1_B	2	Survey Plan Showing Details & Levels
2701.21	DA02	Site Analysis	210280	C03	Road Frontage Plan						
2701.21	DA03	Character Analysis	210280	C04	Site Stormwater Details Sheet 1						
2701.21	DA04	Development Data & Notes	210280	C10	Turning Paths Sheet 1						
2701.21	DA05	Demolition Plan	210280	C11	Turning Paths Sheet 2						
2701.21	DA06	Cut & Fill Diagram	210280	C12	Turning Paths Sheet 3						
2701.21	DA07	Site & Ground Floor Plan	210280	C14	Turning Paths Sheet 4						
2701.21	DA08	Site & First Floor Plan	210280	ESM1	Notes & Legends						
2701.21	DA09	Site & Roof Plan	210280	ESM2	Environmental Site Management Plan						
2701.21	DA10	Floor & Roof Plans									
2701.21	DA11	Landscape, Deep Soil & GFA Diagrams									
2701.21	DA12	Elevations (Block A)									
2701.21	DA13	Elevations (Block B)									
2701.21	DA14	Sections									
2701.21	DA15	Shadow Analysis (Sht 1)									
2701.21	DA16	Shadow Analysis (Sht 2)									
2701.21	DA17	Shadow Analysis (Sht 3)									
2701.21	DA18	Shadow Analysis (Sht 4)									
2701.21	DA19	3D Perspectives									
2701.21	DA20	Fence & Retaining Wall Details									



01

Location Plan  
not to scale



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Seniors living Development (x8 Units)  
15-17 Combles Pde & 2-4 Hamel Rd,  
Matraville, NSW  
Drawn: CP  
Checked: AT  
Plot date: 23/10/25  
Scale: as noted @ A1

Project No:	LAHC Project No:
2701.21	BGXPR
Drawing No:	Revision#:
DA00	DA2

Cover Sheet &  
Location Plan



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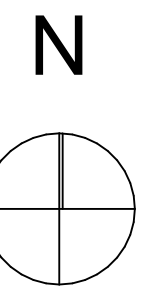
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DA1	Part 5 Issue	28/09/23
DA2	Part 5 Issue	25/10/23



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Seniors living Development (x8 Units)  
15-17 Combles Pde & 2-4 Hamel Rd,  
Matraville, NSW

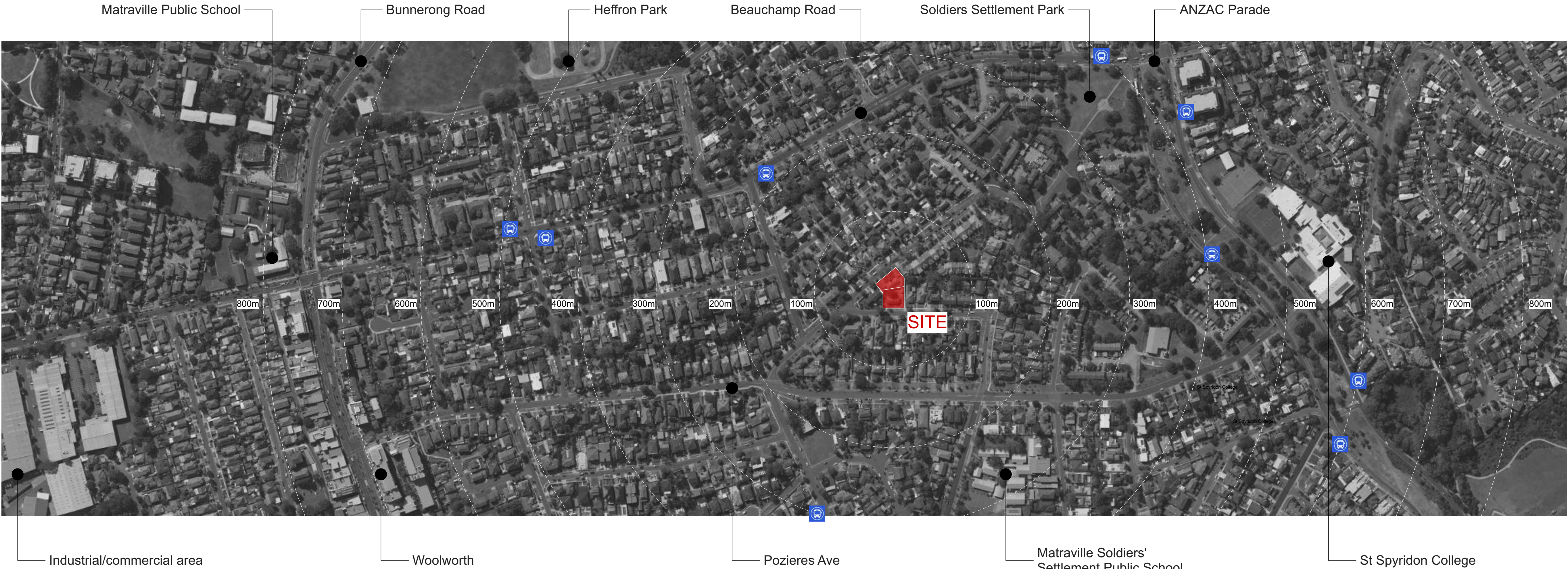
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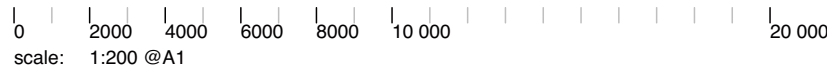
Project No: 2701.21  
LAHC Project No: BGXPR

Drawing No: DA01  
Revision#: DA2

Location Analysis







Legend:  
H high retention value  
M medium retention value

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Nominated Architects - D/M Bell 11076, S/M Evans 7686  
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19 Combles Pde



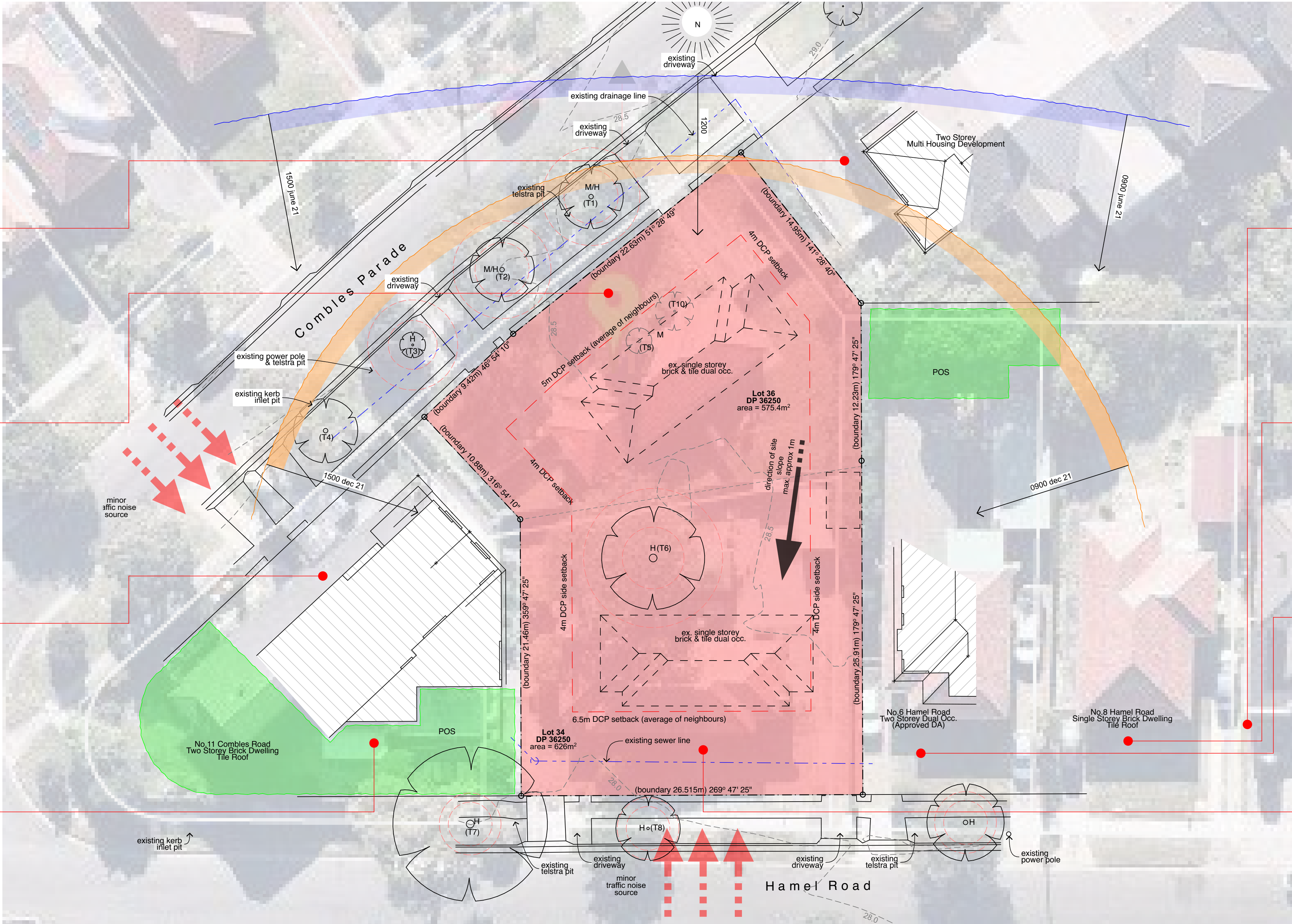
15-17 Combles Pde



11 Combles Pde



11 Combles Pde (view from Hamel Rd)



10 Hamel Road



8 Hamel Road



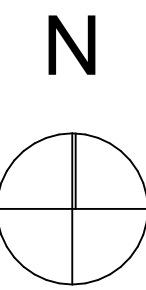
6 Hamel Road - (Approved DA)



2-4 Hamel Road



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15-17 Combles Pde & 2-4 Hamel Rd,  
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Project No; 2701.21  
LAHC Project No; BGXPR

Drawing No; DA02  
Revision#; DA2

Site Analysis



Recent Developments in the area



No. 60 Pozieres Avenue



No. 3 Bapaume Parade



No. 38 Pozieres Avenue



No. 25 Menin Road



No. 32 Combles Parade

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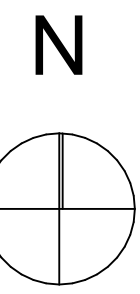
Rev	Issue	Date
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note:  
setbacks are based on available information such as google maps



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Seniors living Development (x8 Units)  
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Matraville, NSW  
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Checked: AT  
Plot date: 23/10/23  
Scale: 1:1.044 as noted @ A1

Project No; 2701.21	LAHC Project No; BGXPR
Drawing No; DA03	Revision#; DA2


Character Analysis



DEVELOPMENT DATA – Seniors Housing												
Part 5 EP&A Act												
*NOTE - SUMMARY OF PRIMARY CONTROLS ONLY - please note that this is not a comprehensive checklist but rather a summary of key standards which are likely to shape the development in these early concept stages and compliance with all relevant development standards contained in the LEP/DCP & LAHC Dwelling Requirements etc will be required to be demonstrated as the design evolves.												
JOB REFERENCE	BGXPR											
LOCALITY / SUBURB	Matraville											
STREET ADDRESS	15-17 Combles Pde & 2-4 Hamel Rd,											
LOT NUMBER(S) & DP	Lots 34 & 36 in Deposited Plan 36250											
SITE AREA (sqm)	1201.4m <sup>2</sup> – sourced from Deposit Plan 1205.6 m <sup>2</sup> – sourced from Survey											
NUMBER OF EXISTING LOTS	2 (34 & 36)											
LGA	Randwick City Council											
ZONING	R2 - Low Density Residential Zone											
ACCESSIBLE AREA												
ROOMS	Number	Type (ground/1st)	Internal Area (m <sup>2</sup> ) <a href="#">LAHC Dwelling Requirements</a> 1 bedroom: min 50m <sup>2</sup> 2 bed: min 70m <sup>2</sup>	No of bedrooms	Private open Space		Livable Housing Standard/Adaptable etc					
					POS required m <sup>2</sup>	POS proposed m <sup>2</sup>						
					1	Ground		58	1	15	58	silver
					2	Ground		57	1	15	47	silver
					3	First		58	1	8	8	silver
					4	First		57	1	8	8	silver
					5	Ground		58	1	15	108	silver
					6	Ground		59	1	15	51	silver
					7	First		58	1	8	8	silver
	8	First	59	1	8	8	silver					
	Control			Requirement		Proposed						
MIN. SETBACKS	Housing SEPP <a href="#">Cl.59(c)</a> and RDCP – MDH	Front Setback		Setback to be generally in line with existing building line.  or  3m		Combles Pde: Balconies: 4.4m Walls: 5.17m Hamel Rd: Facade: 5.3m Walls: 6.7m						
	RDCP - MDH	Side Setback		4m  <i>*Note: SLUDG requires where setbacks are less than 1.2m a max. of 50% of devel. to be built to this alignment.</i>		3.64m – 6m						
	RDCP - MDH	Rear Setback		25% of allotment depth or 8m, whichever is lesser.		N/A						
BUILDING HEIGHT	Housing SEPP <a href="#">Cl.108(2)(a)</a> , note also <a href="#">108(2)(b)</a> <a href="#">(SH non-discretionary std)</a>			9.5m		7.5m						
FSR	Housing SEPP <a href="#">Cl. 108(2)(c)</a> <i>*Note GFA definition varies from that in LEPs refer to <a href="#">Cl.82</a></i>			0.5:1 0.5 x 1201.4m <sup>2</sup> = 600.70m <sup>2</sup>		533.74m <sup>2</sup> GFA / 0.44 :1						
	Randwick LEP			0.5:1 0.5 x 1201.4m <sup>2</sup> = 600.70m <sup>2</sup>		533.74m <sup>2</sup> GFA / 0.44 :1						
LANDSCAPED AREA	Housing SEPP <a href="#">Cl. 108(2)(d)</a>			Min. 35m <sup>2</sup> per dwelling 35m <sup>2</sup> x 8 = 280m <sup>2</sup>		405.08 m <sup>2</sup>						
DEEP SOIL ZONE	Housing SEPP <a href="#">Cl. 108(2)(f)</a>			Min. 15% of site 15% x 1201.4m <sup>2</sup> = 180.21m <sup>2</sup>  Min. 3m dimension  Min. 65% of DSZ to be located at rear of site 65% x 247.5m <sup>2</sup> = 160.9m <sup>2</sup>  Mid block %		259.42 m <sup>2</sup> / 21.5%  Min dimension = 3m  No rear  97.25 m <sup>2</sup> / 21.5% (of total deep soil)						
SOLAR ACCESS	Housing SEPP <a href="#">Cl. 108(2)(g)</a>			70% of dwellings - min 2 hrs between 9am & 3pm mid- winter to: i) Living rooms ii) Private open space		3+ hrs Living Rooms = 7/8 Dwellings  3+hrs POS = 8/8 Dwellings						
SOLAR ACCESS – ADJOINING DWELLINGS	SLUDG			Neighbouring Dwellings: - Living Rooms min 3hrs direct sunlight between 9am & 3pm mid winter  - Solar access to private open space not to be unreasonably reduced		Living Rooms = no effect  POS = 11 combles reduced by 1hr						
PRIVATE OPEN SPACE	Housing SEPP <a href="#">Cl. 108(2)(b) &amp; (f)</a>			<u>Ground Floor dwellings:</u> 15m <sup>2</sup> per dwelling		Complies Refer table above						
				Incl. 1 area with min. dimension = 3m x 3m		Complies						
				<u>Dwellings not on ground floor:</u> Provide balcony Accessible from living area Min. Dimension of 2m  1 bdrm units = 6m <sup>2</sup> (note LAHC Dwelling Requirements require = 8m <sup>2</sup> )		Complies Refer table above						
CAR PARKING	LAHC requirement: Non accessible rate			4 spaces r'qd 1-bed: 8 x 0.5 = 4		4 Spaces						

	Housing SEPP <a href="#">Cl.108(2)(f)</a>	1 space per 5 dwellings 8 ÷ 5 = (1.6) 2  <i>*Note Carpark to also be designed in accordance with SLUDG criteria</i>	4 Spaces
	Housing SEPP <a href="#">Schedule 4</a>	10% of the total number of car parking spaces (or at least one space if there are fewer than 10 spaces) must be designed to enable the width of the spaces to be increased to 3.8 metres	1 space (carport capable)
	Housing SEPP	1 space per 5 dwelling (Accessible Spaces) 8 ÷ 5 = (1.6) 2	2 spaces
TREE REMOVAL	Housing SEPP <a href="#">Cl.59(a)</a>	Retain, wherever reasonable, significant trees No. of trees on site & in close proximity to development = 8	No. of significant trees = 8 Retained = 5 Removed = 3
WASTE	RDCP	Waste Generation Rates: Waste – 240L p/wk per 2 dwellings = 240L x 4 = 960L	6
		Recycling – 240L p/fn per 2 dwellings = 240L x 4 = 960L	6
		Green – 240L p/fn per dwelling (Only applies to multi dwelling housing that generate garden organics) = 240L x 4 = 960L	4
ADAPTABLE UNITS	LAHC Dwelling Requirements <i>Adaptable Dwellings</i>	AS 4299 Class C adaptable dwellings to be provided as required by LAHC project brief	None required by LAHC brief

NCC 2022 NATHERS Thermal Performance Specification - Matraville			
External Walls			
Wall Type	Insulation	Colour	Comments
Cavity Brick	R0.7	Med - SA 0.475 - 0.70	Ground and Level 1
FC cladding	R0.7	Med - SA 0.475 - 0.70	Lobby
SA - Solar Absorptance			
Internal Walls			
Wall Type	Insulation	Comments	
Single skin brick	None	Internally in units on ground floor (Throughout except below)	
Single skin brick	R1.0	Internal walls of Bath (Unit 5 only)	
Plasterboard stud	None	Internally in units on Level 1	
Cavity brick with plasterboard	None	Party walls between units	
Cavity brick with plasterboard	None	Shared walls with lobby/stairs (Throughout except below)	
Cavity brick with plasterboard	R0.7	Shared walls with lobby/stairs (Unit 5 only)	
Floors			
Floor Type	Insulation	Comments	
Concrete slab on ground	None	Ground floor units	
Concrete	None	Level 1 units	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	None	Unit above	
Plasterboard	R2.5	Roof/air above	
Insulation loss due to downlights has <u>not</u> been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof			
Roof Type	Insulation	Colour	Comments
Metal	R1.3 foil-faced blanket	Med - SA 0.475 - 0.70	Throughout (Unvented cavity)
SA - Solar Absorptance			
Glazing			
Opening type	U-Value	SHGC	Glazing & Frame Type
Sliding + Fixed (Throughout)	4.8	0.59	e.g., Single glazed high-performance low-e clear Aluminium frame
Awning (Throughout)	4.8	0.51	e.g., Single glazed high-performance low-e clear Aluminium frame
U and SHGC values are based on the APRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values.			
Skylights			
Skylight Type	Frame Type	Comments	
na	na	na	
Ceiling fan			
Size	Location	Comments	
1200mm in diameter	All bedrooms + Living	na	

Certificate Prepared by	
	Greenview Consulting Pty Ltd ABN: 32600067338 Email: dean@greenview.net.au Phone: 0404 649 762



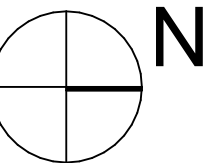
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LAHC

Seniors living Development (x8 Units)  
15-17 Combles Pde & 2-4 Hamel Rd,  
Matraville, NSW

Drawn; CP  
Checked; AT  
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Scale; as noted @ A1

Project No; 2701.21  
LAHC Project No; BGXPR

Drawing No; DA04  
Revision#; DA2

Development Data & Notes



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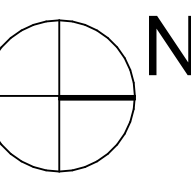
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15-17 Combles Pde & 2-4 Hamel Rd,  
Matraville, NSW

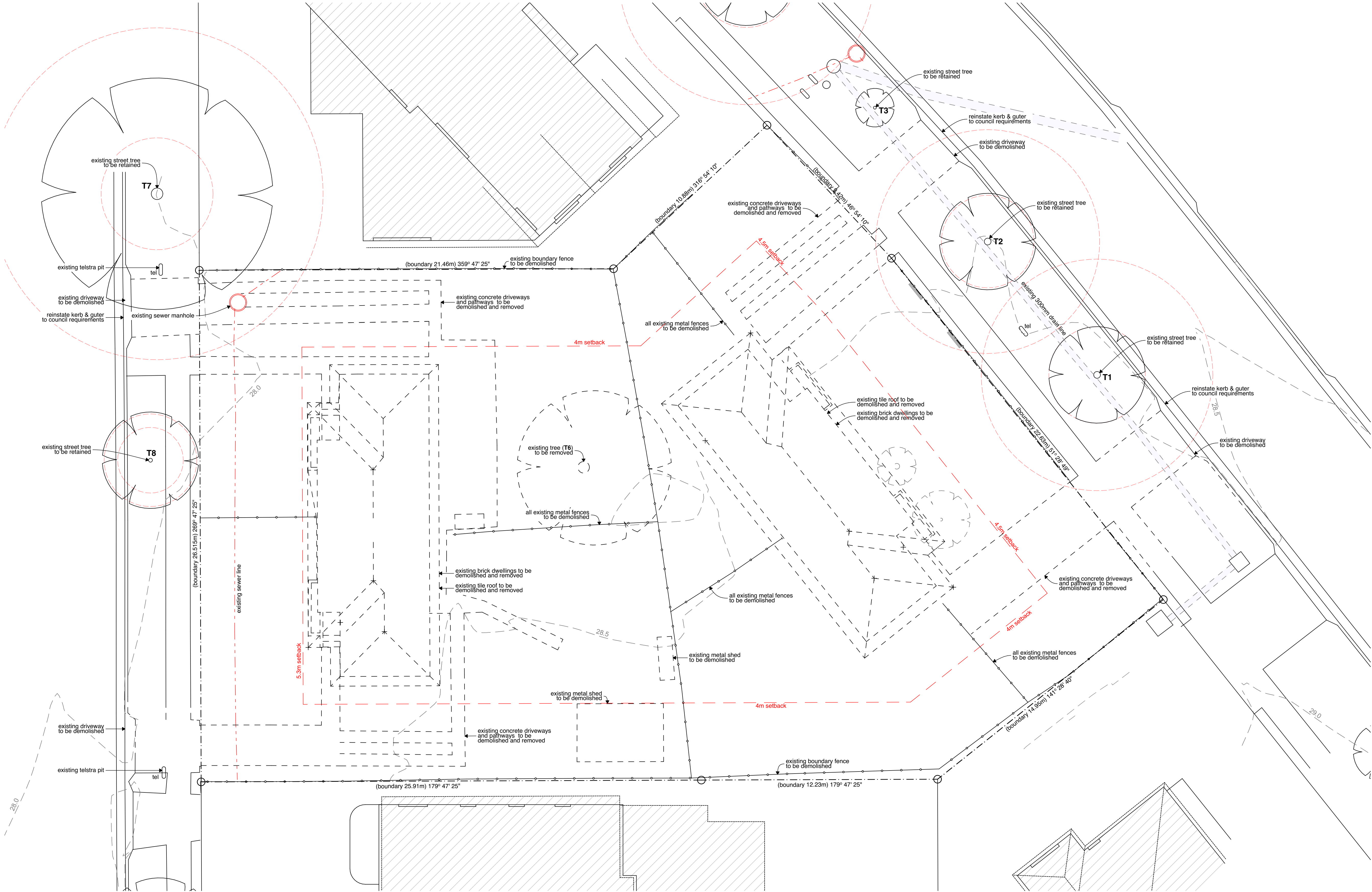
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Plot date; 23/10/23

Scale; 1:100 as noted @ AI

Project No; 2701.21  
LAHC Project No; BGXPR

Drawing No; DA05  
Revision#; DA2

Demolition Plan



## 01 Demolition Plan

1:100

### Legend

- demolition plan  
note: drawing may not contain all items listed below
- existing trees to be retained
  - existing trees to be removed
  - not in scope of works
  - denotes existing items to be demolished or removed (walls, equipment etc.)
  - site boundaries
  - approx. location of existing contours

- note:
- all demolition to be undertaken pursuant to Safe Work NSW Code of practice.
  - existing buildings may contain asbestos, as built prior to 1984.
  - this drawing shall be read in conjunction with structural and service engineer documents.
  - broken lines indicate general extent of demolition and removal but full extent of these works includes all ancillary and associated elements not necessarily described by the specific notes.
  - where ex. walls are to be demolished, provide all temporary structural supports as required and as detailed by engineer. all redundant equipments to be returned to client for storage.
  - refer to services consultants drawings for removal of ex. services and requirements.



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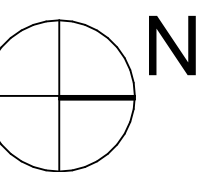
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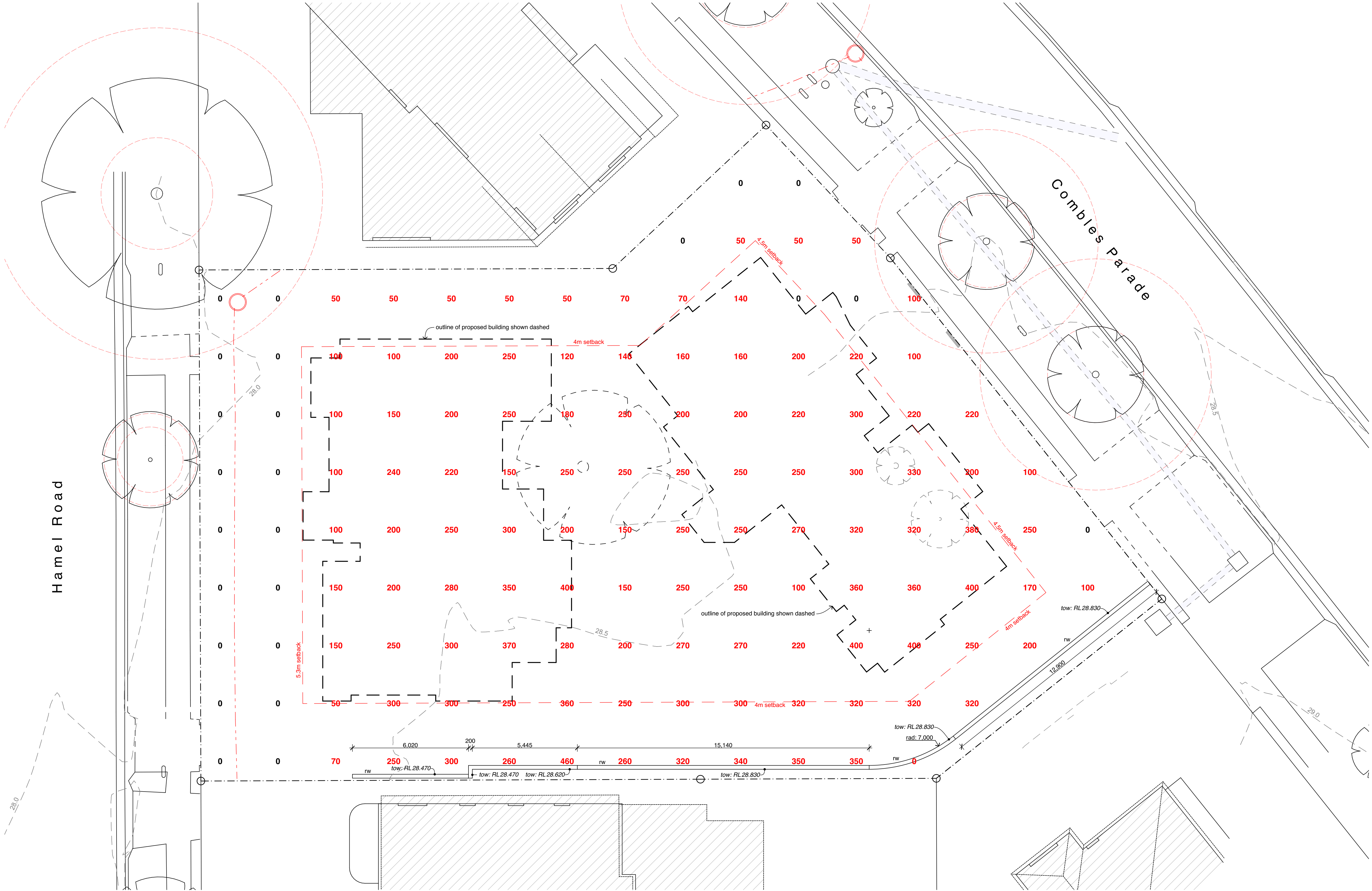
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Scale: 1:100 as noted @ AI

Project No: 2701.21  
LAHC Project No: BGXPR  
Drawing No: DA06  
Revision#: DA2

Cut & Fill Diagram



01 Cut & Fill Diagram  
1:100

note:  
diagram only.  
not to be used for pricing or for construction.

Legend	cut & fill plan
	existing trees to be retained
	existing trees to be removed
	outline of new buildings
	site boundaries
	approx. depth of cut in millimetres
	approx. depth of fill in millimetres
	approx. location of existing contours
	retaining wall



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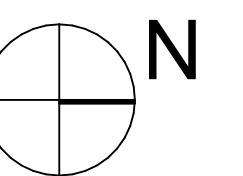
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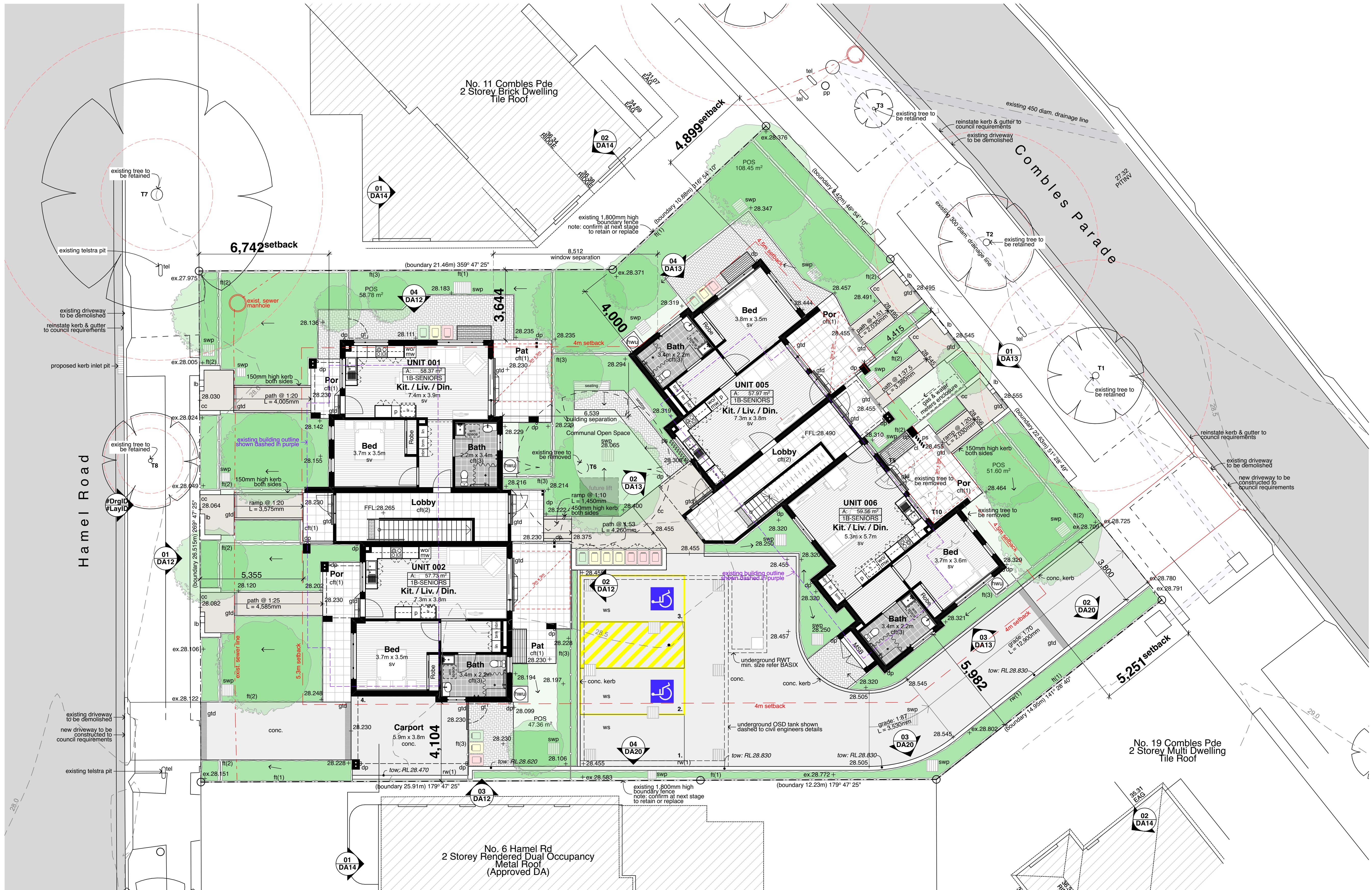
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Scale: 1:100 as noted @ A1

Project No: 2701.21  
LAHC Project No: BGXPR  
Drawing No: DA07  
Revision#: DA2

Site & Ground Floor Plan



01 Site & External Works Plan  
1:100

Legend (external work / site plan)		Legend (external work / site plan)	
note: drawing may not contain all items listed below			
	existing trees to be retained		ex. contours
	existing trees to be removed		existing levels
	proposed new trees		proposed levels
			proposed spot levels (ft)
			proposed spot levels (ft)

ac	air conditioner condenser	dp	downpipe	kr	kerb ramp	tow	top of wall
acc	accessible	dpr	doorpost	lb	letter box	w/c	wood float concrete
adh	adjoining	ex	existing	ofc	off form concrete	ws	wheel stop
ap	access panel	fb(1)	facebrick work (type)	pmp	permeable paving		
bal(1)	balustrade (type)	fb	fence (type)	pp	power pole		
bfc	broom finished concrete	gb	garbage bin	rw(1)	retaining wall (type)		
boe	brick on edge	gt	gate	rwo	rainwater outlet		
bol	bollard	gtd	grated drain	rwt	rainwater tank		
cc(1)	coloured concrete (type)	hr(1)	handrail (type)	slc	steel float concrete		
cl	ceramic floor tile (type)	ht	hose tap	swp	storm water pit		
col	column	hwu	hot water unit	tlc	trowel finished concrete		
		hyd	hydrant	tgsi	tactile ground surface indicator		



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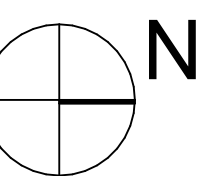
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Plot date: 23/10/23








Scale: 1:100 as noted @ A1

Project No:	LAHC Project No:
2701.21	BGXPR
Drawing No:	Revision#:
DA08	DA2

Site & First Floor Plan



01 First Floor Plan  
1:100

Legend (external work / site plan)		note: drawing may not contain all items listed below									
	existing trees to be retained		ex. contours	ac	air conditioner condenser	dp	downpipe	kr	kerb ramp	tow	top of wall
	existing trees to be removed		ex. RL00.00 → existing levels	acc	accessible	dpr	doorpost	lb	letter box	wfc	wood float concrete
	proposed new trees		RL00.00 → proposed levels	adh	ageing, disability & home care	ex	existing	ofc	off form concrete	ws	wheel stop
			proposed spot levels (ft)	ap	access panel	fb(1)	fence (type)	pmp	permeable paving		
				bal(1)	balustrade (type)	ft(1)	fence (type)	pp	power pole		
				bfc	broom finished concrete	gb	garbage bin	rw(1)	retaining wall (type)		
				boe	brick on edge	gt	gate	rwo	rainwater outlet		
				bol	bollard	gtd	grated drain	rwt	rainwater tank		
				cc(1)	coloured concrete (type)	hr(1)	handrail (type)	slc	steel float concrete		
				ctf(1)	ceramic floor tile (type)	ht	hose tap	swp	storm water pit		
				cl	clothes line	hwu	hot water unit	tlc	trowel finished concrete		
				col	column	hyd	hydrant	tgsi	tactile ground surface indicator		

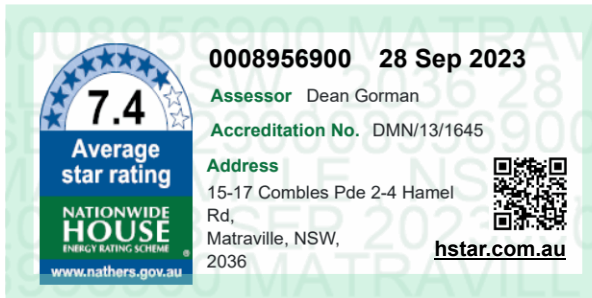


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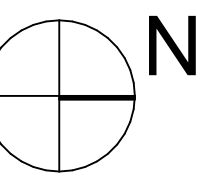
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Rev	Issue	Date
DAP1	Draft Part 5 Issue	19/09/23
DA1	Part 5 Issue	28/09/23
DA2	Part 5 Issue	25/10/23



Stanton  
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Architects



LAHC

Seniors living Development (x8 Units)  
15-17 Combes Pde & 2-4 Hamel Rd,  
Matraville, NSW

Drawn; CP  
Checked; AT  
Plot date; 23/10/23

Scale:1:100 as noted @ A1

Project No; 2701.21  
LAHC Project No; BGXPR  
Drawing No; DA09  
Revision#; DA2

Site & Roof Plan



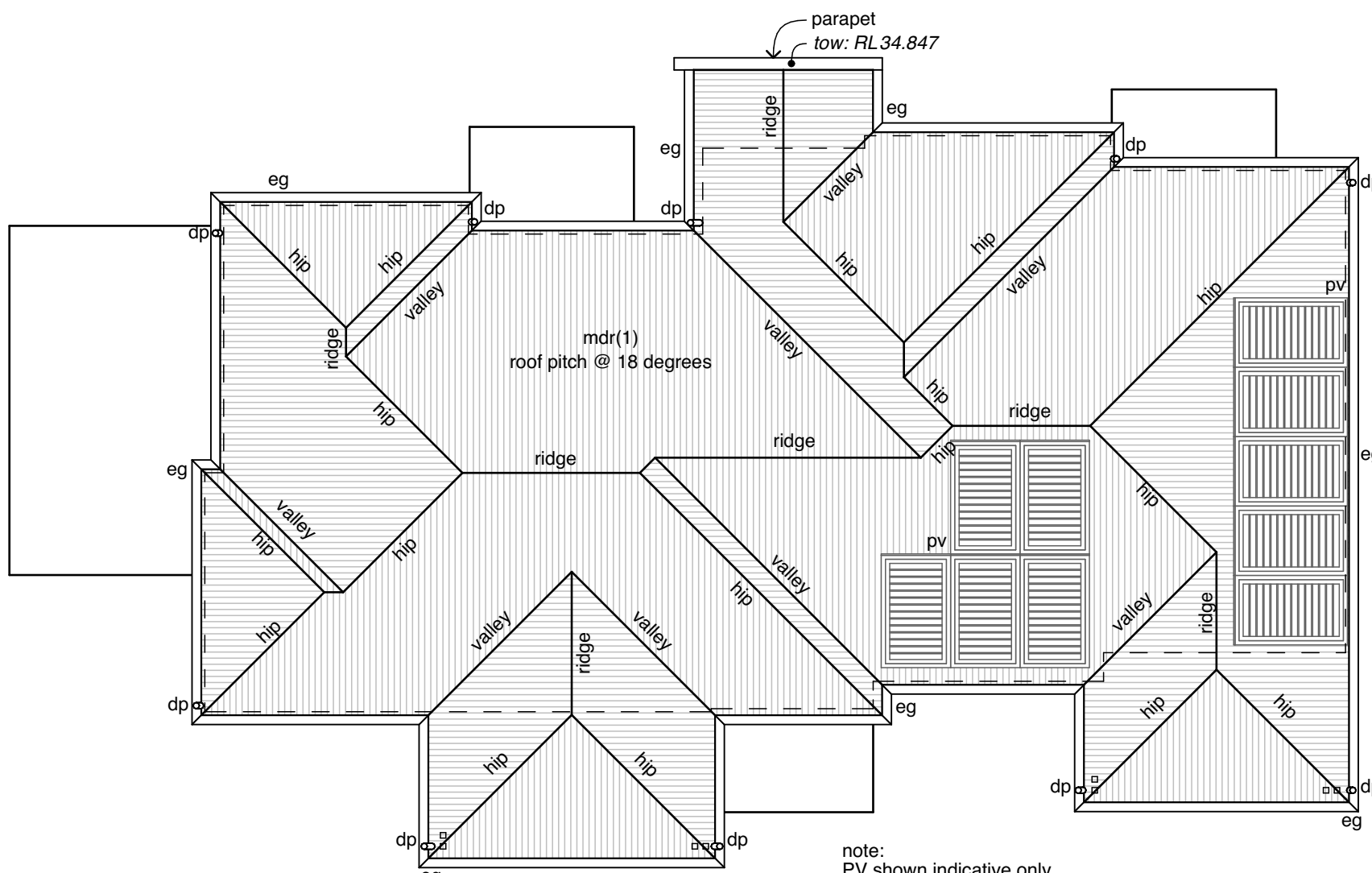
01 Roof Plan  
1:100

Legend (external work / site plan)			
note: drawing may not contain all items listed below			
	existing trees to be retained		ex.contours
	existing trees to be removed		ex.RL00.00 → existing levels
	proposed new trees		RL00.00 → proposed levels
			→ 39.000 proposed spot levels (ft)
ac	air conditioner condenser	dp	downpipe
acc	accessible	drp	doorpost
adh	ageing, disability & home care	ex	existing
ap	access panel	fb(1)	fabric work (type)
bal(1)	balustrade (type)	fb	fence (type)
bfc	broom finished concrete	gb	garbage bin
boe	brick on edge	gt	gate
bol	bollard	gtd	grated drain
cc(1)	coloured concrete (type)	hr(1)	handrail (type)
ctf(1)	ceramic floor tile (type)	ht	hose tap
cl	clothes line	hwu	hot water unit
col	column	hyd	hydrant
		kr	kerb ramp
		lb	letter box
		ofc	off form concrete
		pmp	permeable paving
		pp	power pole
		rw(1)	retaining wall (type)
		rwo	rainwater outlet
		rw	rainwater tank
		sfc	steel float concrete
		swp	storm water pit
		tlc	trowel finished concrete
		tgsi	tactile ground surface indicator
		tow	top of wall
		wfc	wood float concrete
		ws	wheel stop

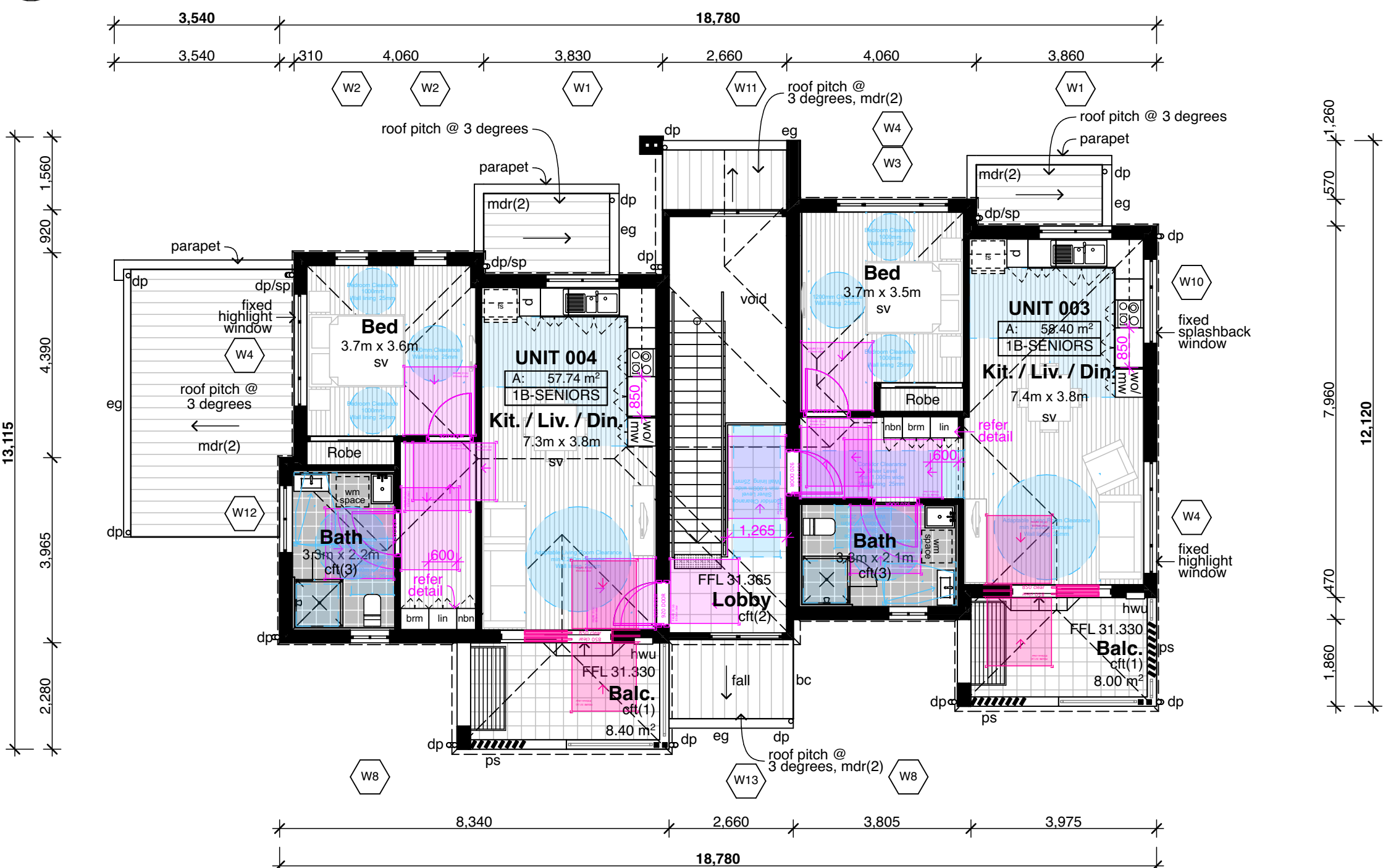


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scale: 1:100 @A1

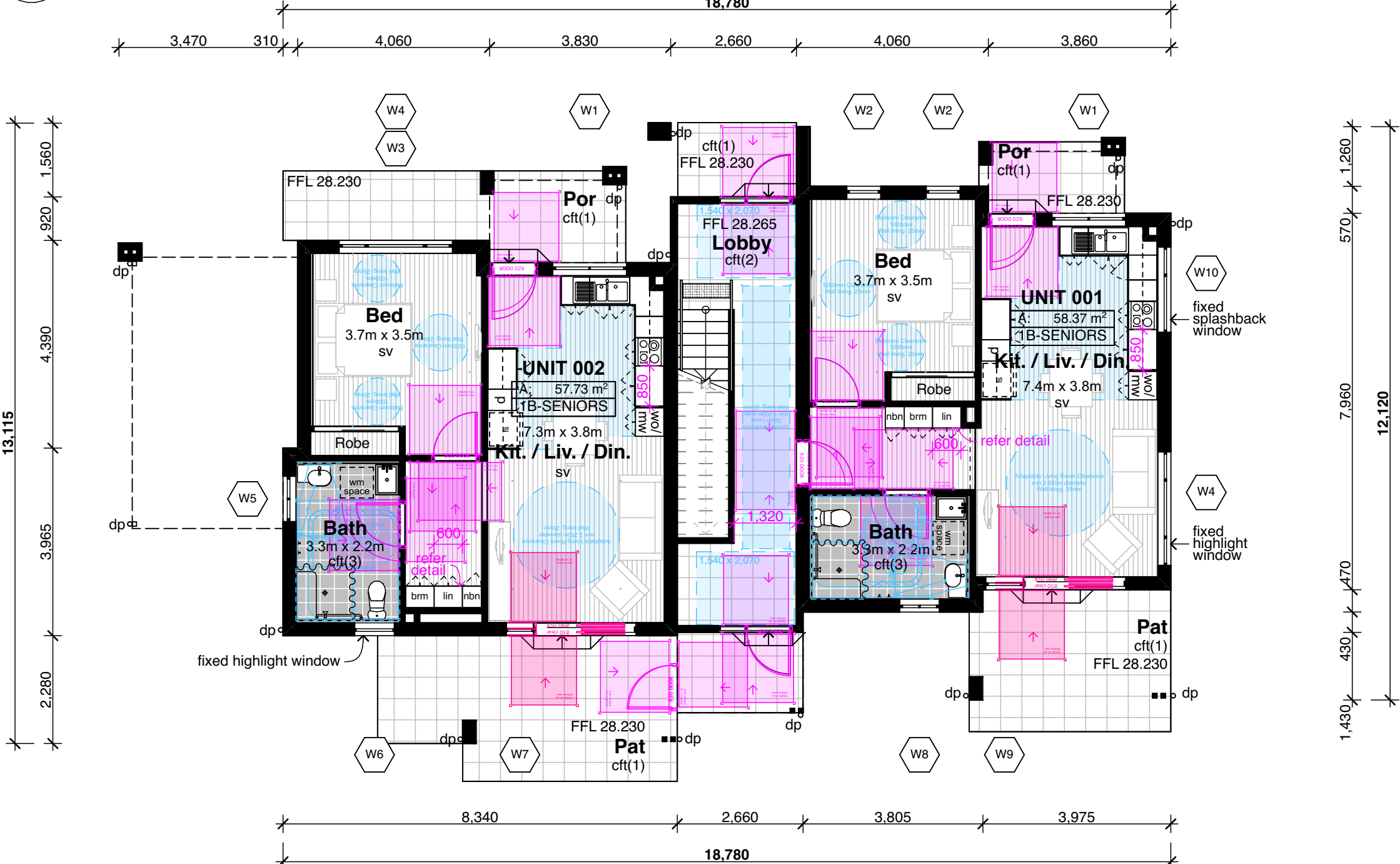
Window Schedule					
Id	Width	Height	W/D Nominal Sill Height	Door/Window Type	Quantity
W1	1,570	1,200	1,200	Aluminium Frame Sliding	6
W2	730	2,100	300	Aluminium Frame Top Hung + Fixed Bottom Sash	10
W3	2,410	600	900	Aluminium Frame Fixed x2 Top Hung + x1 Fixed Sash	4
W4	2,410	600	1,800	Aluminium Frame x3 Fixed Sash	11
W5	970	944	1,456	Aluminium Frame Sliding (Opaque)	1
W6	850	600	1,800	Aluminium Frame Fixed (Opaque)	1
W7	580	2,400	0	Aluminium Frame Fixed Sash	1
W8	850	944	1,456	Aluminium Frame Sliding (Opaque)	3
W9	800	2,400	0	Aluminium Frame Fixed Sash	1
W10	1,810	600	900	Aluminium Frame x2 Fixed Sash	2
W11	1,560	2,400	200	Aluminium Frame Fixed	1
W12	1,450	944	1,456	Aluminium Frame Sliding (Opaque)	5
W13	1,560	2,400	0	Aluminium Frame Top Hung + Fixed Side & Bottom Sash	1
W14	850	2,100	300	Aluminium Frame Top Hung + Fixed Bottom Sash	4
W15	1,450	1,200	1,200	Aluminium Frame Sliding	2
W16	1,440	2,400	0	Aluminium Frame Top Hung + Fixed Side & Bottom Sash	1
W17	1,570	1,310	1,090	Aluminium Frame Sliding	2
W18	1,440	2,400	0	Aluminium Frame Fixed	1
W19	1,560	2,400	0	Aluminium Frame Top Hung + Fixed Side & Bottom Sash	1
W20	970	1,310	1,090	Aluminium Frame Sliding	1



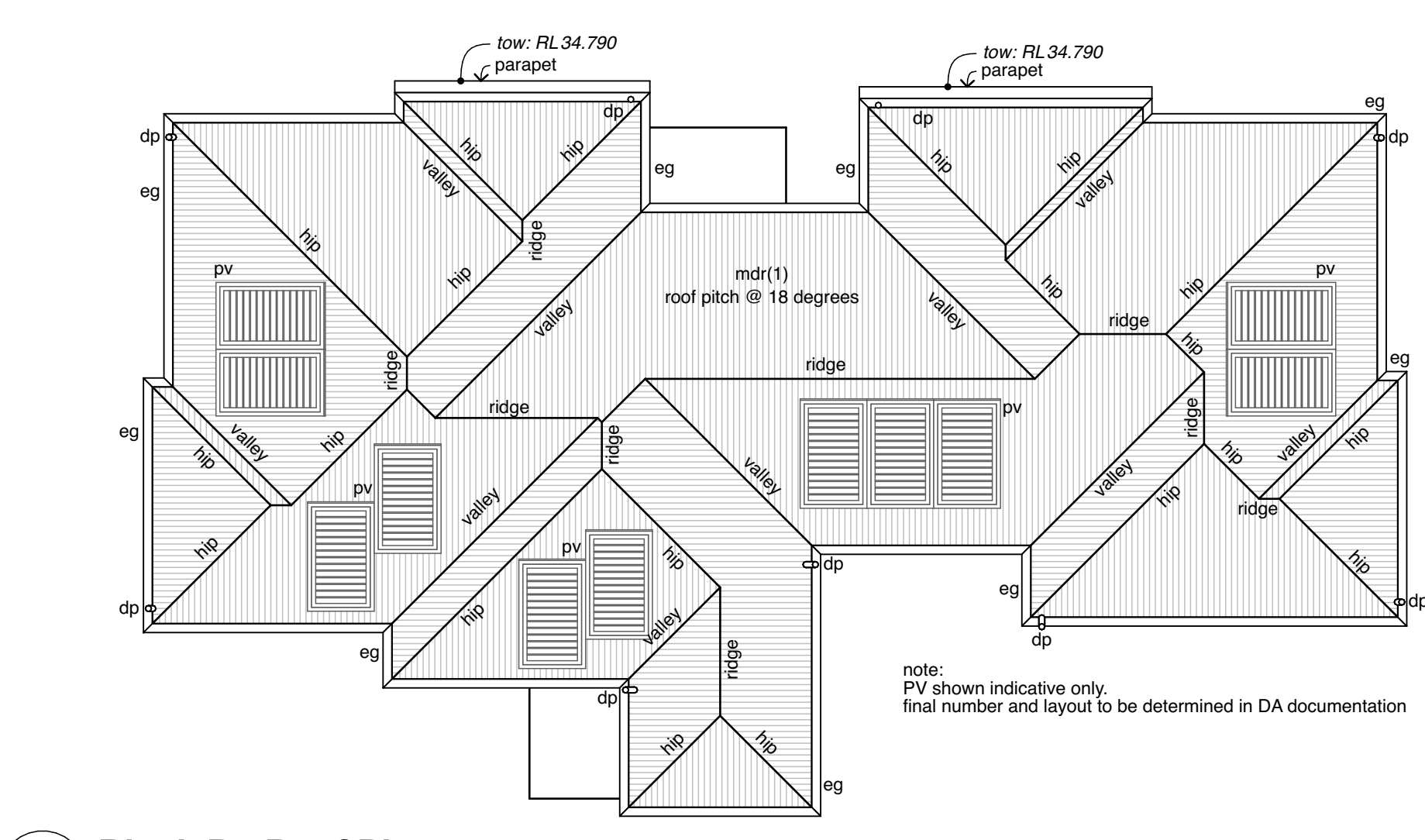
03 Block A - Roof Plan  
1:100



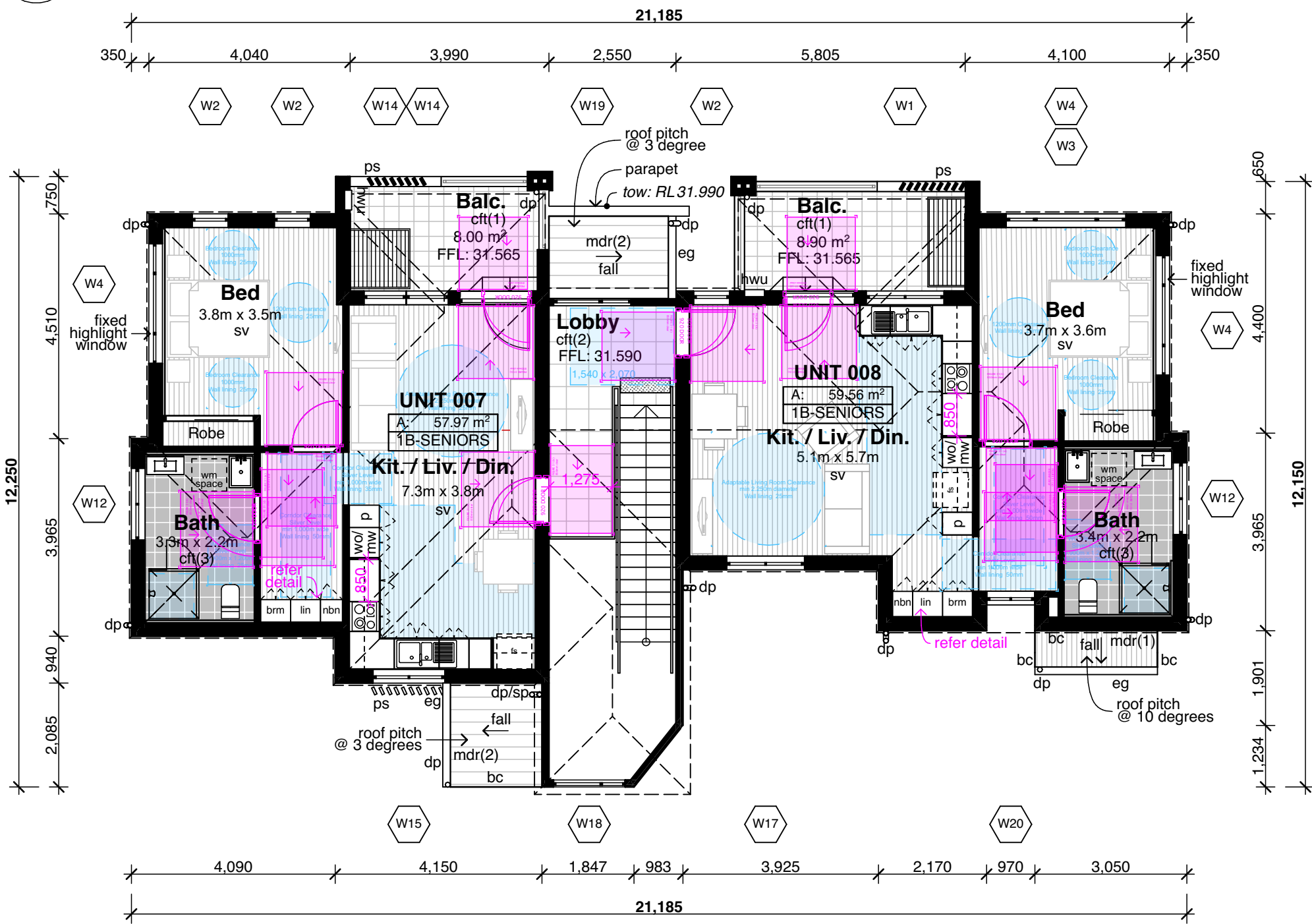
02 Block A - First Floor Plan  
1:100



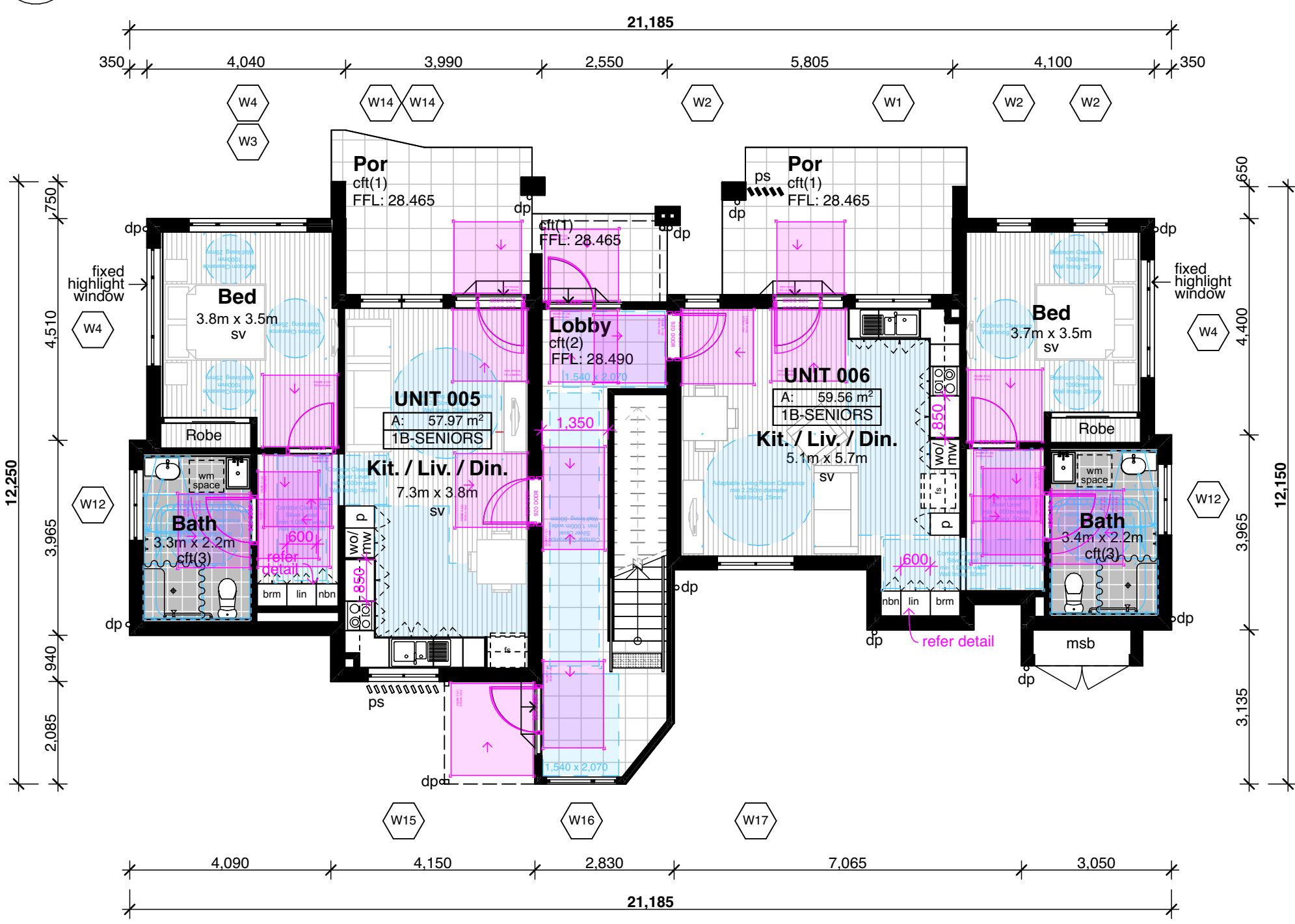
01 Block A - Ground Floor Plan (Access)  
1:100



06 Block B - Roof Plan  
1:100



05 Block B - First Floor Plan  
1:100



04 Block B - Ground Floor Plan (Access)  
1:100

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Nominated Architects - D&M Bell 11076, S&M Evans 7686  
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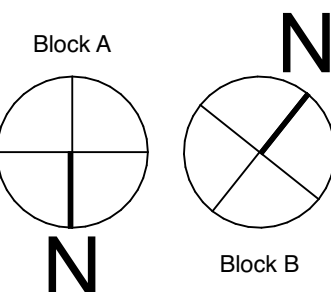
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Rev	Issue	Date
DA01	Draft Part 5 Issue	19/09/23
DA1	Part 5 Issue	28/09/23
DA2	Part 5 Issue	25/10/23




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LAHC

Seniors living Development (x8 Units)  
15-17 Combes Pde & 2-4 Hamel Rd,  
Matraville, NSW

Drawn; CP  
Checked; AT  
Plot date; 23/10/23

Scale: 1:100 as noted @ A1

Project No; 2701.21  
LAHC Project No; BGXPR

Drawing No; DA10  
Revision#; DA2

Floor & Roof Plans





01 Landscape Diagram  
1:200



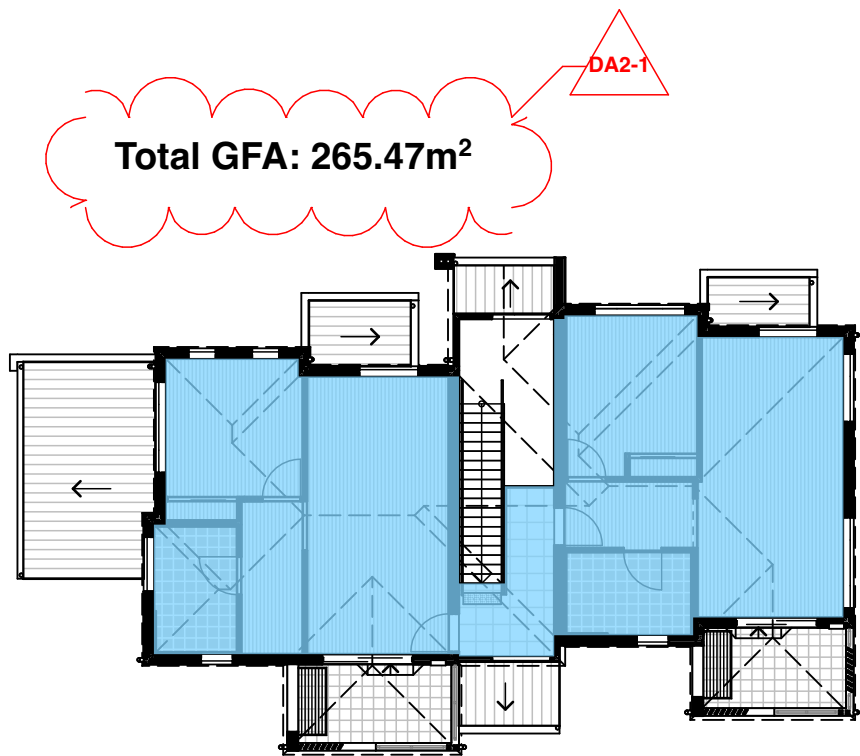
02 Deep Soil Diagram  
1:200

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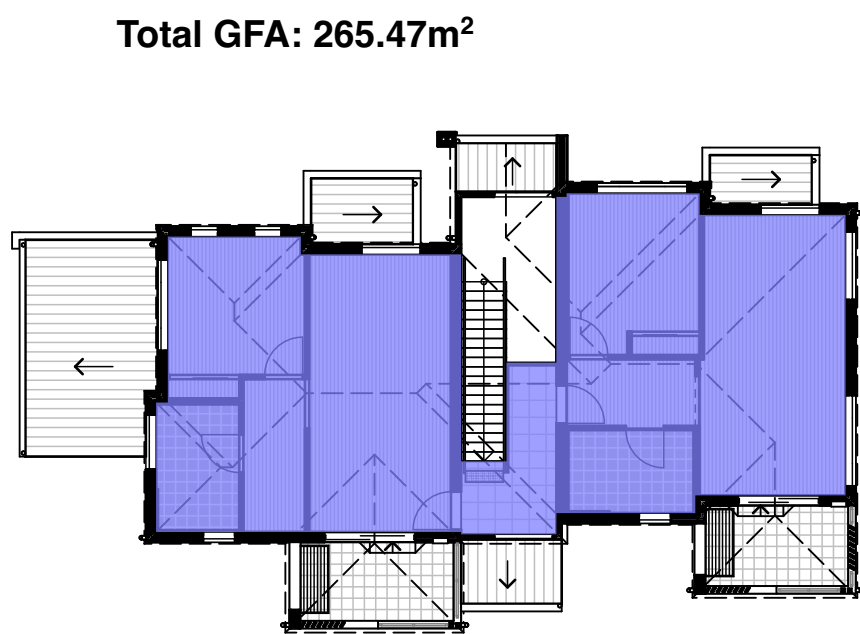
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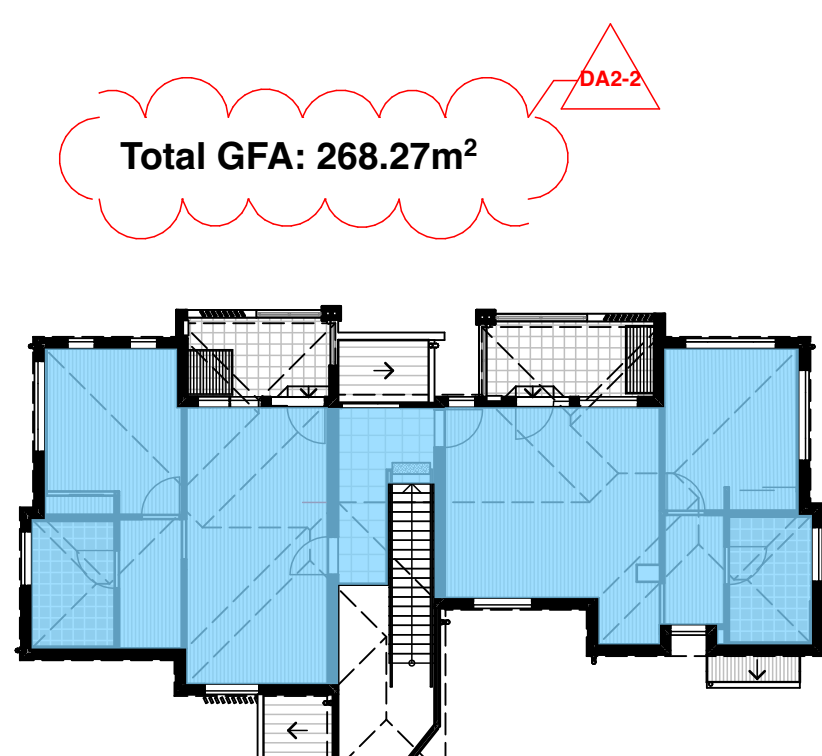
Rev	Issue	Date
DAP1	Draft Part 5 Issue	19/09/23
DA1	Part 5 Issue	28/09/23
DA2	Part 5 Issue	25/10/23

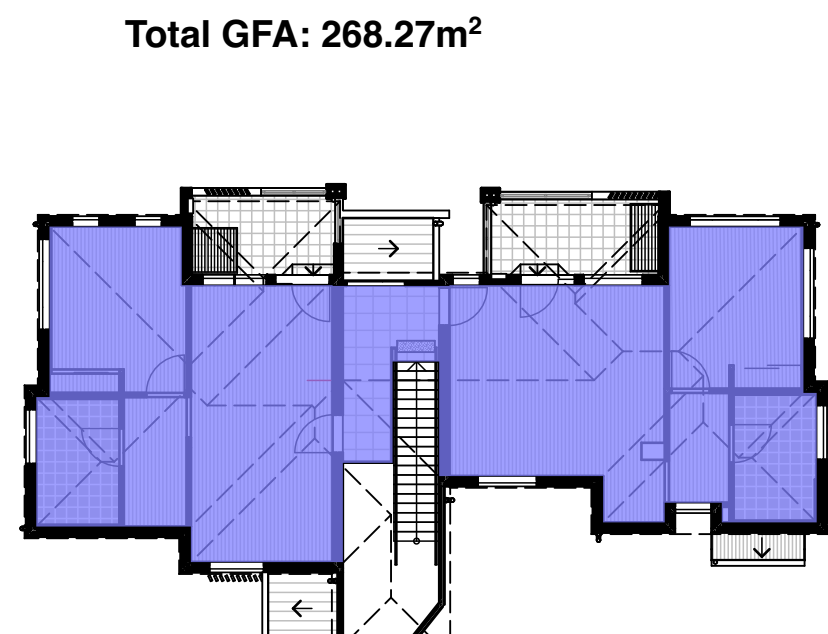
04 Block A - First Floor Plan (GFA SEPP)  
1:200



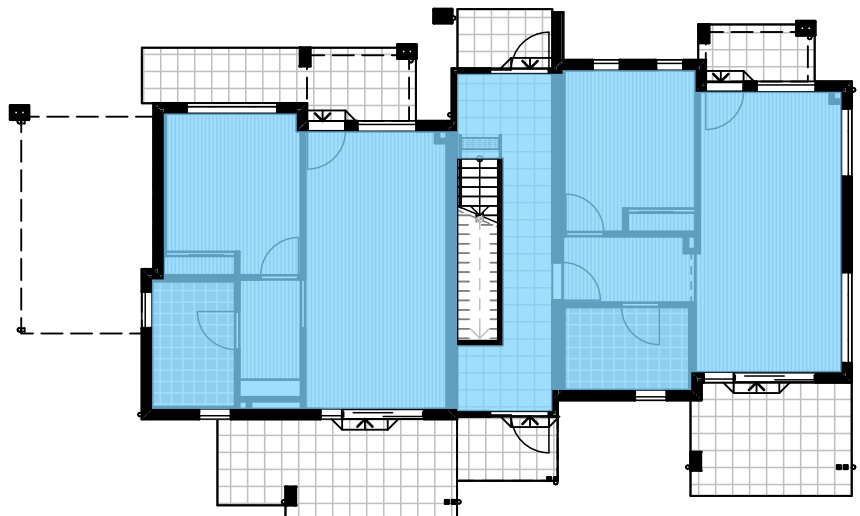
06 Block A - First Floor Plan (GFA LEP)  
1:200



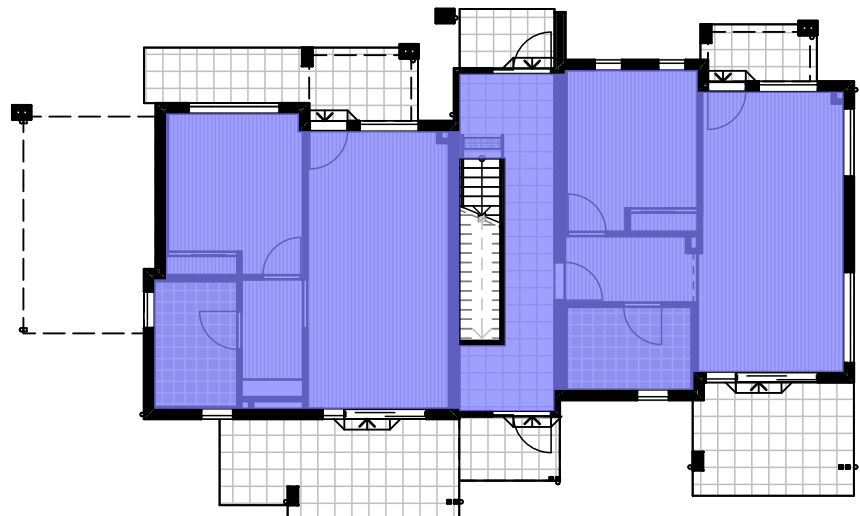
08 Block B - First Floor Plan (GFA SEPP)  
1:200



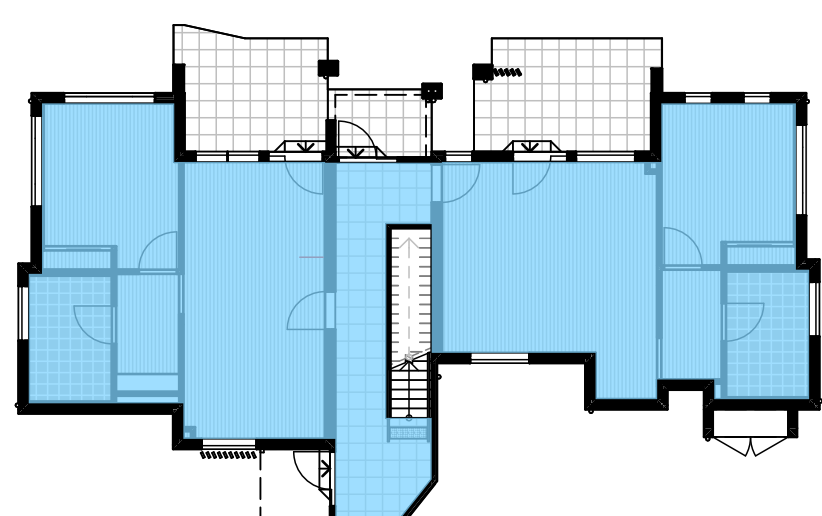
10 Block B - First Floor Plan (GFA LEP)  
1:200



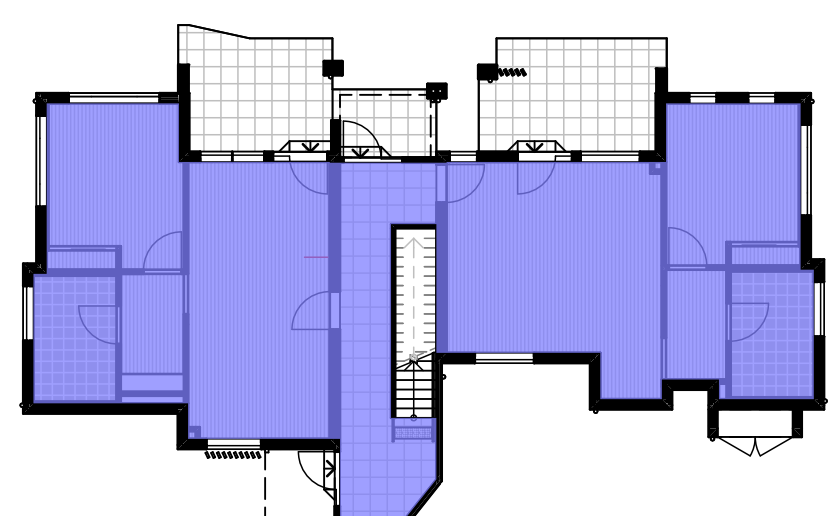
03 Block A - Ground Floor Plan (GFA SEPP)  
1:200



05 Block A - Ground Floor Plan (GFA LEP)  
1:200



07 Block B - Ground Floor Plan (GFA SEPP)  
1:200



09 Block B - Ground Floor Plan (GFA LEP)  
1:200

Legend  
note: drawing may not contain all items listed below

**note:**  
Green area indicates landscape area  
**Total: 402.45m²** (33.5% of site)

**note:**  
Brown area indicates deep soil zone (min. dim 3x3m)  
**Total: 272.73m²** (22.7% of site)  
mid block % = 98.99m² (35.5% of total) asked for by previous planner

Legend  
note: drawing may not contain all items listed below

**note:**  
Colour indicates GFA LEP  
**Block A Total: 265.47m²**  
**Block B Total: 268.27m²**

**note:**  
Colour indicates GFA  
Housing SEPP 2021  
**Block A Total: 265.47m²**  
**Block B Total: 268.27m²**

**Total: 533.74m²** (FSR: 0.44:1)

**Total: 533.74m²** (FSR: 0.44:1)

Stanton Dahl Architects



LAHC

Seniors living Development (x8 Units)  
15-17 Combles Pde & 2-4 Hamel Rd,  
Matraville, NSW

Drawn: CP  
Checked: AT  
Plot date: 23/10/23

Scale: 1:200 as noted @ A1

Project No: 2701.21  
LAHC Project No: BGXPR

Drawing No: DA11  
Revision#: DA2

Landscape, Deep Soil & GFA Diagrams

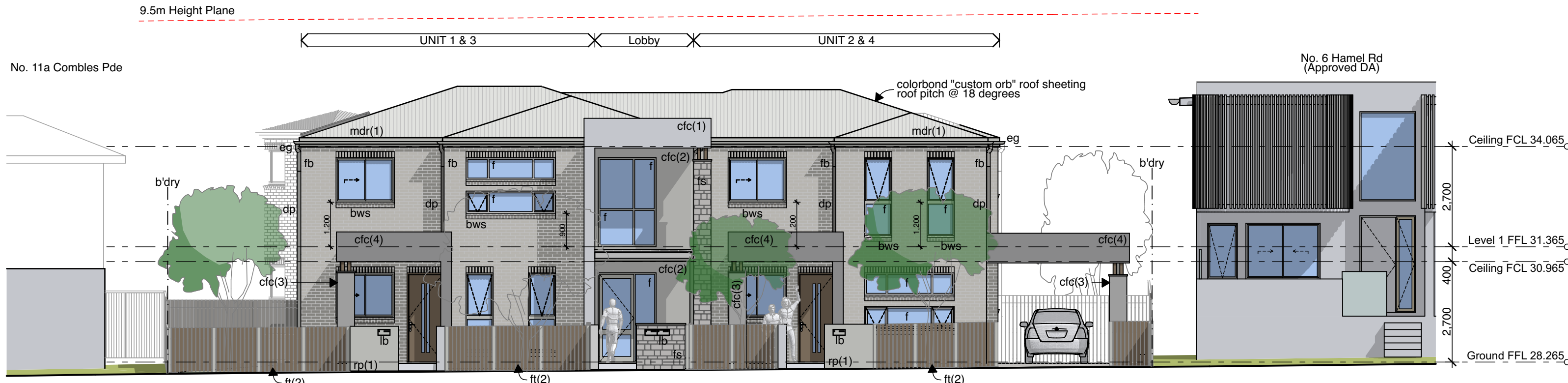


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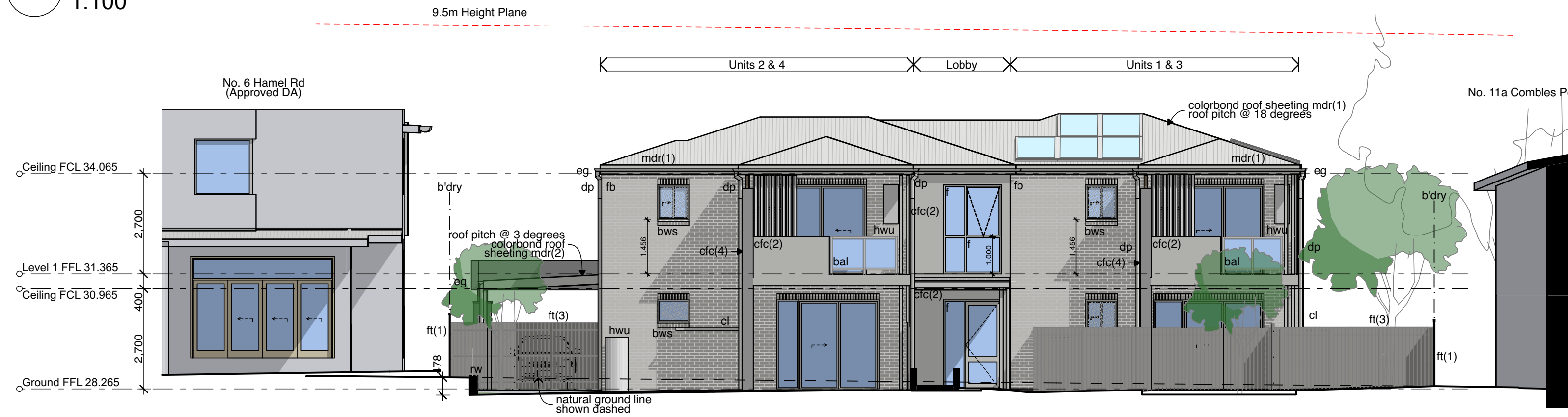
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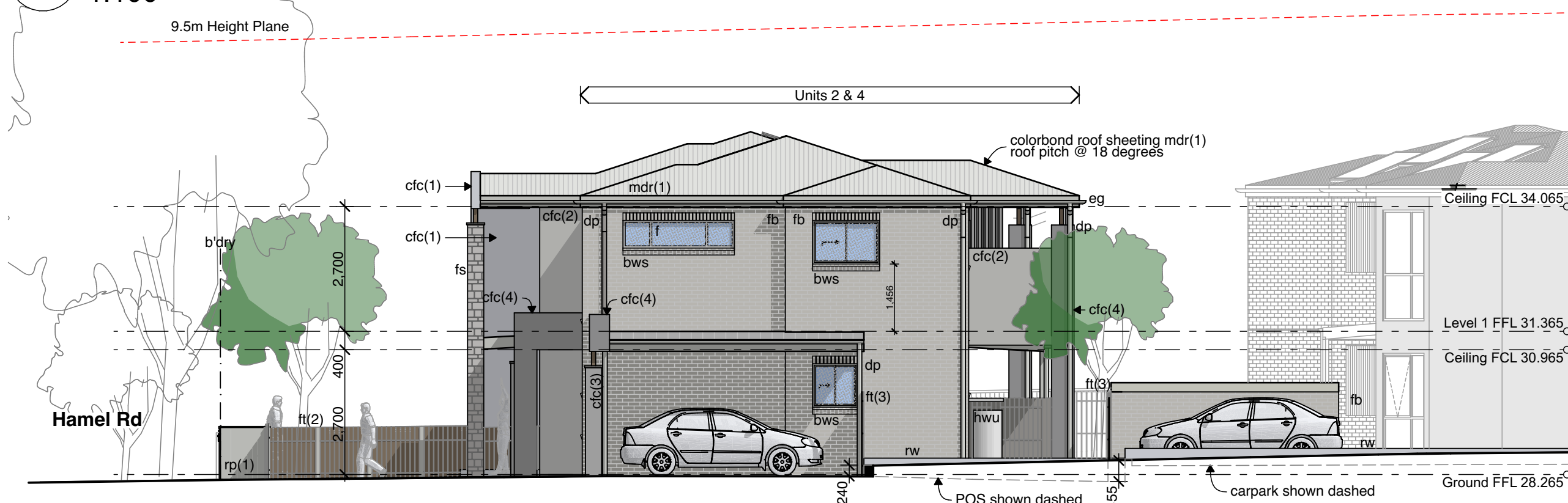
Rev	Issue	Date
DAP1	Draft Part 5 Issue	19/09/23
DA1	Part 5 Issue	28/09/23
DA2	Part 5 Issue	25/10/23



01 South Elevation (Hamel Rd)  
1:100



02 North Elevation (Block A)  
1:100



03 East Elevation (Block A)  
1:100



**Face Brick (fb)**  
PGH Bricks  
Range: Coastal Hamptons  
Colour: Gull Grey



**Feature Stone**  
PGH Stone  
Range: LedgeStone  
Colour: Southwest Blend



**Metal Roof mdr(1)**  
Colorbond 'custom orb'  
Colorbond Shale Grey



**Metal Roof mdr(2)**  
Colorbond 'klip lok'  
Colorbond Shale Grey



**CFC + Paint cfc(1)**  
Dulux White



**CFC - cfc(2)**  
Barestone - Original



**CFC - cfc(3)**  
Barestone - Ash



**CFC - cfc(4)**  
Barestone - Graphite



**Columns, Downpipes**  
**Window & Door Frames, Fences, Fascias & Gutters - powdercoated**  
Dulux Shale Grey

Legend (elevation & sections)

note: drawing may not contain all items listed below

ac	air conditioner condenser
ag	ag pipe
alw	aluminium framed window
bal(1)	balustrade (type)
bc	barge capping
bg	box gutter
bhc	brick header course
boe	brick on edge
bws	brickwork sill
cfc	compacted fibre cement
cj	control joint

conc.	concrete
cs	coved skirting
dp	downpipe
dth	door head
eg	eaves gutter
egl	existing ground line
ex.	existing
f	fixed sash window
fb(1)	face brickwork (type)
mdr	metal deck roof
ftl	finished ceiling level
ftf	finished floor level
fp	feature panel

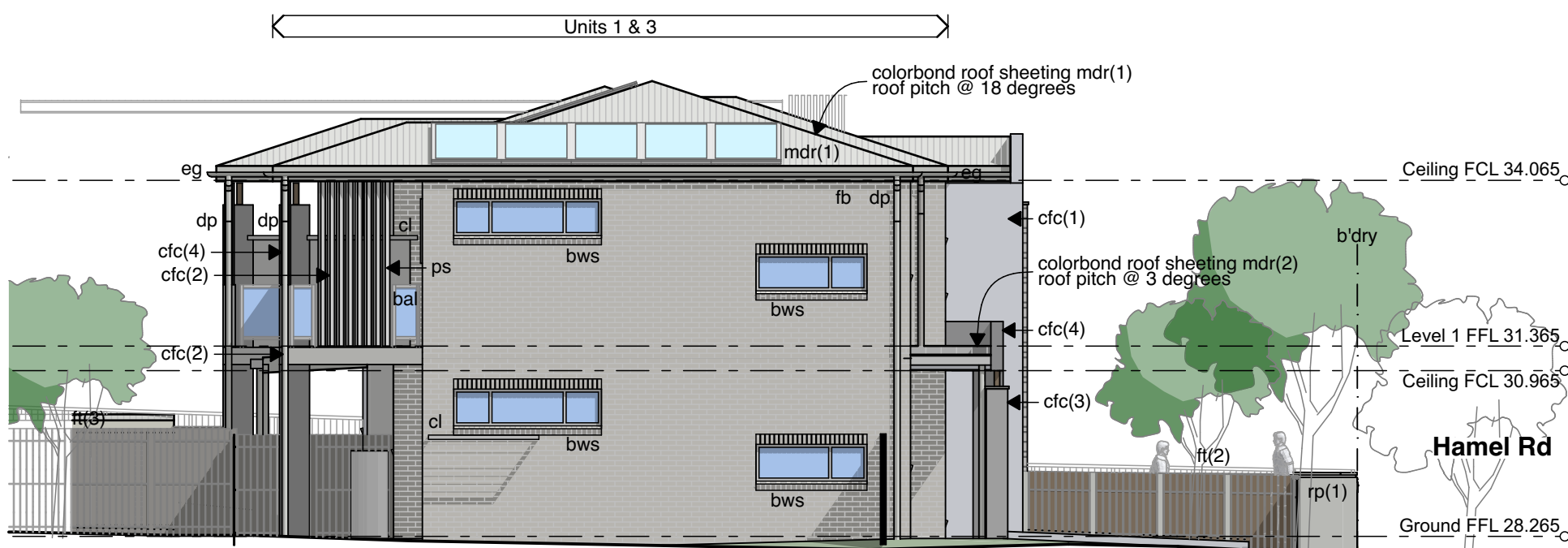
gl	ground line
gt	gate
hr(1)	handrail (type)
hwu	hot water unit
ip	insulated panel
lv(f)	fixed louvres
lv(o)	operable louvres
mc(1)	metal cladding (type)
mdr	metal deck roof
ofc	off form concrete
olv	operable louvres
p(1)	paint (type)

pap(1)	perforated acoustic panel (type)
pbd	plasterboard
ps	privacy screen
pv	photovoltaic cells
rc	rendered concrete
rms	raked metal soffit
rp(1)	render & paint finish (type)
rs	roller shutter
rw	retaining wall
rwh	rainwater head
sl	sliding sash window
sc	steel column

sk	skylight/skytube
sl	sliding door
ss(1)	sun shade (type)
ts	timber skirting
wcs	window casing

note:  
1. all handrails, balustrades & louvres shown  
indicatively only. refer to detail drawings for clarity.  
2. refer to engineer's drawings for final co-ordination.  
3. acoustic panel edges at all major joints (solid line) &  
all exposed edges including top (adjoining s/s sill) &  
bottom (edging skirting) are to include 12x12mm  
aluminium angle.

04 West Elevation (Block A)  
1:100



LAHC

Seniors living Development (x8  
Units)  
15-17 Combes Pde & 2-4 Hamel  
Rd,  
Matraville, NSW

Drawn: CP  
Checked: AT  
Plot date: 23/10/23

Scale:1:100 as noted @ A1

Project No: 2701.21  
LAHC Project No: BGXPR

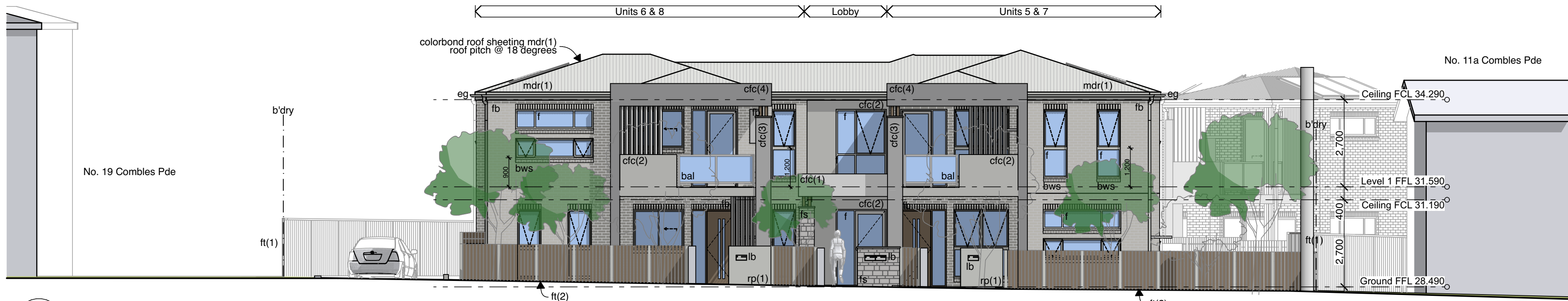
Drawing No: DA12  
Revision#: DA2

Elevations (Block A)

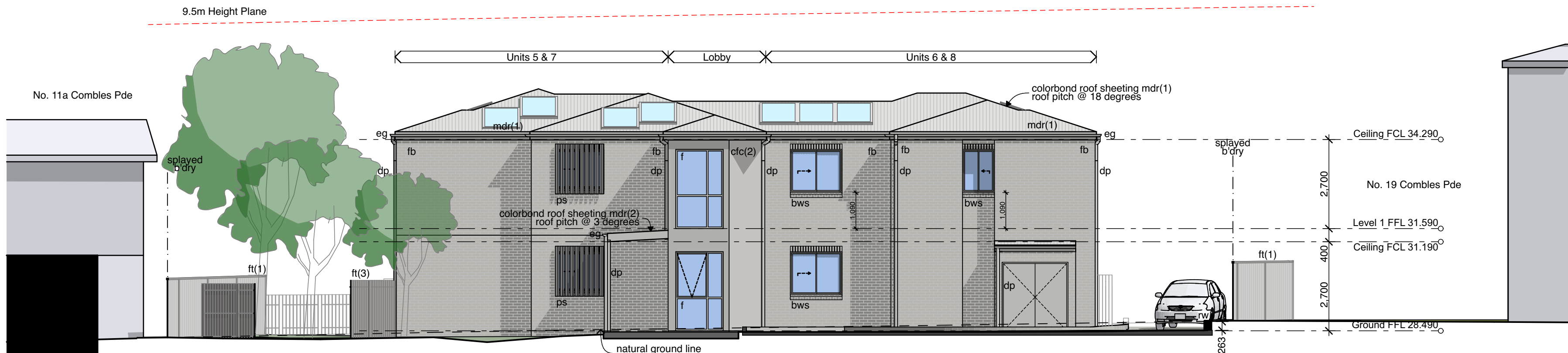


**Entry Doors, Columns  
& Fence Infills**  
Wood Look

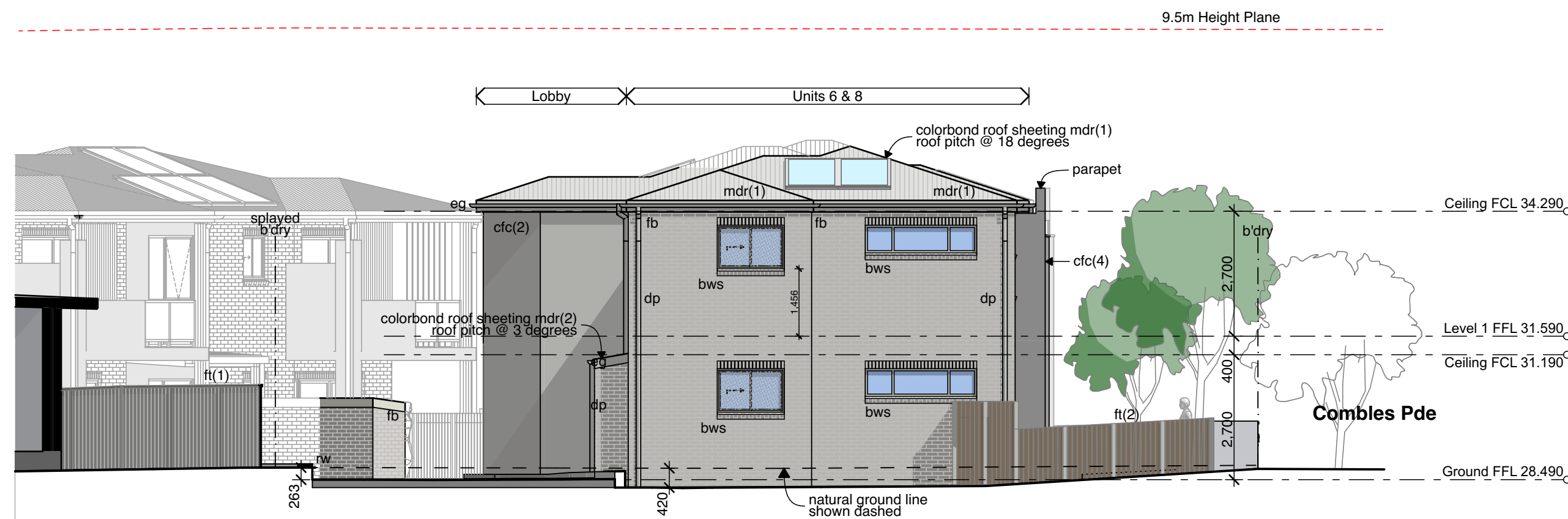




01 North Elevation (Combles Pde)  
1:100



02 South Elevation (Block B)  
1:100



03 East Elevation (Block B)  
1:100



Face Brick (fb)  
PGH Bricks  
Range: Coastal Hamptons  
Colour: Gull Grey



Feature Stone  
PGH Stone  
Range: LedgeStone  
Colour: Southwest Blend



Metal Roof mdr(1)  
Colorbond 'custom orb'  
Colorbond Shale Grey



Metal Roof mdr(2)  
Colorbond 'klip lok'  
Colorbond Shale Grey



CFC + Paint cfc(1)  
Dulux White



CFC - cfc(2)  
Barestone - Original



CFC - cfc(3)  
Barestone - Ash



CFC - cfc(4)  
Barestone - Graphite



Columns, Downpipes  
Window & Door Frames, Fences,  
Fascias & Gutters - powdercoated  
Dulux Shale Grey

Legend (elevation & sections)

ac air conditioner condenser  
ag pipe  
alw aluminium framed window  
bal(1) balustrade (type)  
bc barge capping  
bg box gutter  
bhc brick header course  
boe brick on edge  
bws brickwork sill  
cfc compressed fibre cement  
cj control joint

conc. concrete  
cs coved skirting  
dp downpipe  
dh door head  
eg eaves gutter  
egl existing ground line  
ex. existing  
f fixed sash window  
fb(1) face brickwork (type)  
fcl finished ceiling level  
ftl finished floor level  
fp feature panel

gl ground line  
gt gate  
hr(1) hot water unit  
hv insulated panel  
lv(f) fixed louvres  
lv(o) operable louvres  
mc(1) metal cladding (type)  
mdr metal deck roof  
ofc off form concrete  
olv operable louvres  
p(1) paint (type)

pap(1) perforated acoustic panel (type)  
pbd plasterboard  
ps privacy screen  
pv photovoltaic cells  
rc rendered concrete  
rms raked metal soffit  
rp(1) render & paint finish (type)  
rs roller shutter  
rw retaining wall  
rwh rainwater head  
s sliding sash window  
sc steel column

sk skylight/skytube  
sl sliding door  
sst(1) sun shade (type)  
ts timber skirting  
wcs window casing

note:  
1. all handrails, balustrades & louvres shown  
indicatively only, refer to detail drawings for clarity.  
2. refer to engineer's drawings for final co-ordination.  
3. acoustic panel edges at all major joints (solid line) &  
all exposed edges including top (adjoining s/s sill) &  
bottom (edging skirting) are to include 12x12mm  
aluminium angle.



05 Unit 6 Clothesline (Front Yard)  
not to scale



06 Unit 6 Clothesline (Front Yard)  
not to scale

LAHC

Seniors living Development (x8  
Units)  
15-17 Combles Pde & 2-4 Hamel  
Rd,  
Matraville, NSW

Drawn: CP  
Checked: AT  
Plot date: 23/10/23

Scale: 1:100, 1:4,960 as noted @ A1

Project No: 2701.21  
LAHC Project No: BGXPR

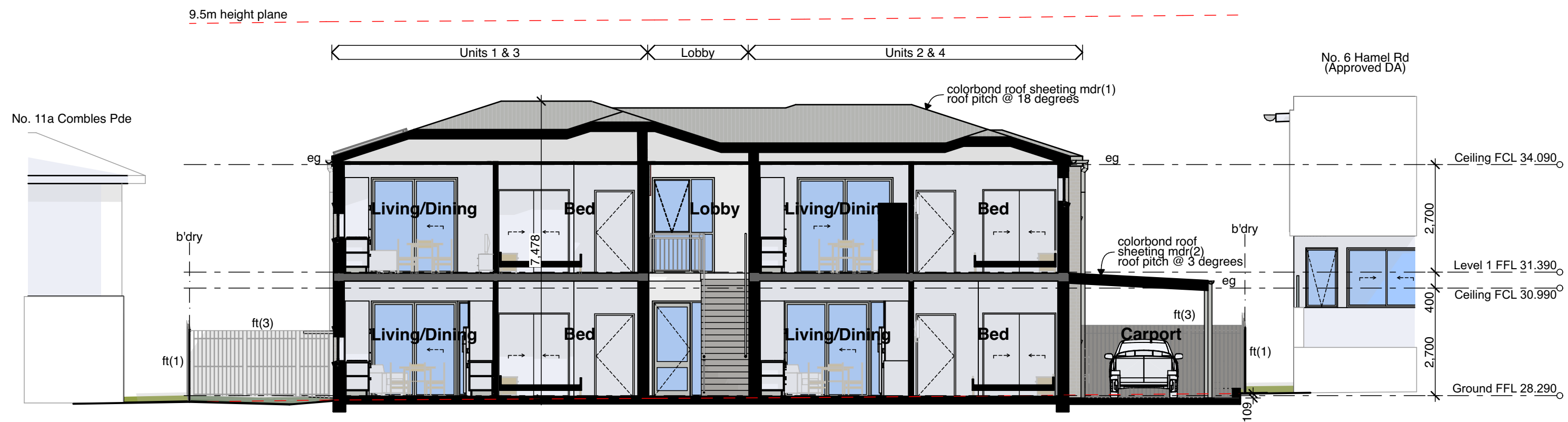
Drawing No: DA13  
Revision#: DA2

Elevations (Block B)

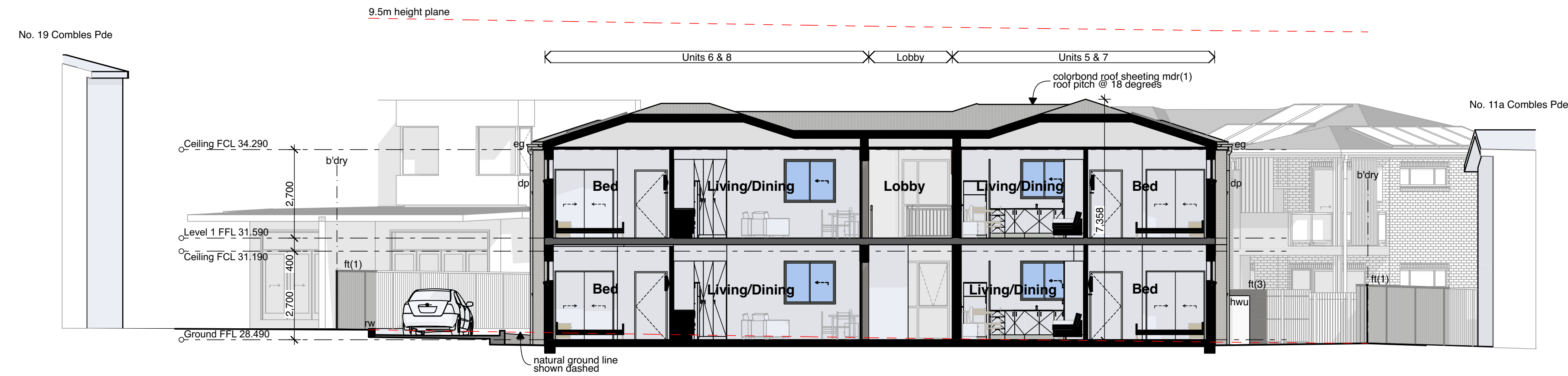


Entry Doors, Columns  
& Fence Infills  
Wood Look





01 Section (Block A)  
1:100



02 Section (Block B)  
1:100

Legend (elevation & sections)

note: drawing may not contain all items listed below

ac air conditioner condenser  
ag pipe  
alw aluminium framed window  
bal(1) balustrade (type)  
bc barge capping  
bg box gutter  
bhc brick header course  
boe brick on edge  
bws brickwork sill  
ctc compressed fibre cement  
cj control joint

conc. concrete  
cs coved skirting  
dp downpipe  
dh door head  
eg eaves gutter  
egl existing ground line  
ex. existing  
f fixed sash window  
fb(1) face brickwork (type)  
fcl finished ceiling level  
fl finished floor level  
fp feature panel

gl ground line  
gt gate  
hr(1) handrail (type)  
hwu hot water unit  
ip insulated panel  
lv(f) fixed louvres  
lv(o) operable louvres  
mc(1) metal cladding (type)  
mdr metal deck roof  
ofc off form concrete  
olv operable louvres  
p(1) paint (type)

pap(1) perforated acoustic panel (type)  
pbd plasterboard  
ps privacy screen  
pv photovoltaic cells  
rc rendered concrete  
rms raked metal soffit  
rp(1) render & paint finish (type)  
rs roller shutter  
rw retaining wall  
rwh rainwater head  
s sliding sash window  
sc steel column

sk skylight/skytube  
sl sliding door  
sst(1) sun shade (type)  
ts timber skirting  
wcs window casing

note:  
1. all handrails, balustrades & louvres shown  
indicatively only, refer to detail drawings for clarity.  
2. refer to engineer's drawings for final co-ordination.  
3. acoustic panel edges at all major joints (solid line) &  
all exposed edges including top (adjoining s/s sill) &  
bottom (adjoining skirting) are to include 12x12mm  
aluminium angle.

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All dimensions to be verified on site and any  
discrepancies referred to architect for  
determination, figured dimensions to take  
precedence over scaled dimensions.

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Rev	Issue	Date
DAP1	Draft Part 5 Issue	19/09/23
DA1	Part 5 Issue	28/09/23
DA2	Part 5 Issue	25/10/23




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LAHC

Seniors living Development (x8  
Units)  
15-17 Combles Pde & 2-4 Hamel  
Rd,  
Matraville, NSW

Drawn: CP  
Checked: AT  
Plot date: 23/10/23

Scale: 1:100 as noted @ A1

Project No: 2701.21  
LAHC Project No: BGXPR

Drawing No: DA14  
Revision#: DA2

Sections



Solar Access

Unit 1 Living = 7hrs  
Unit 1 POS = 4hrs

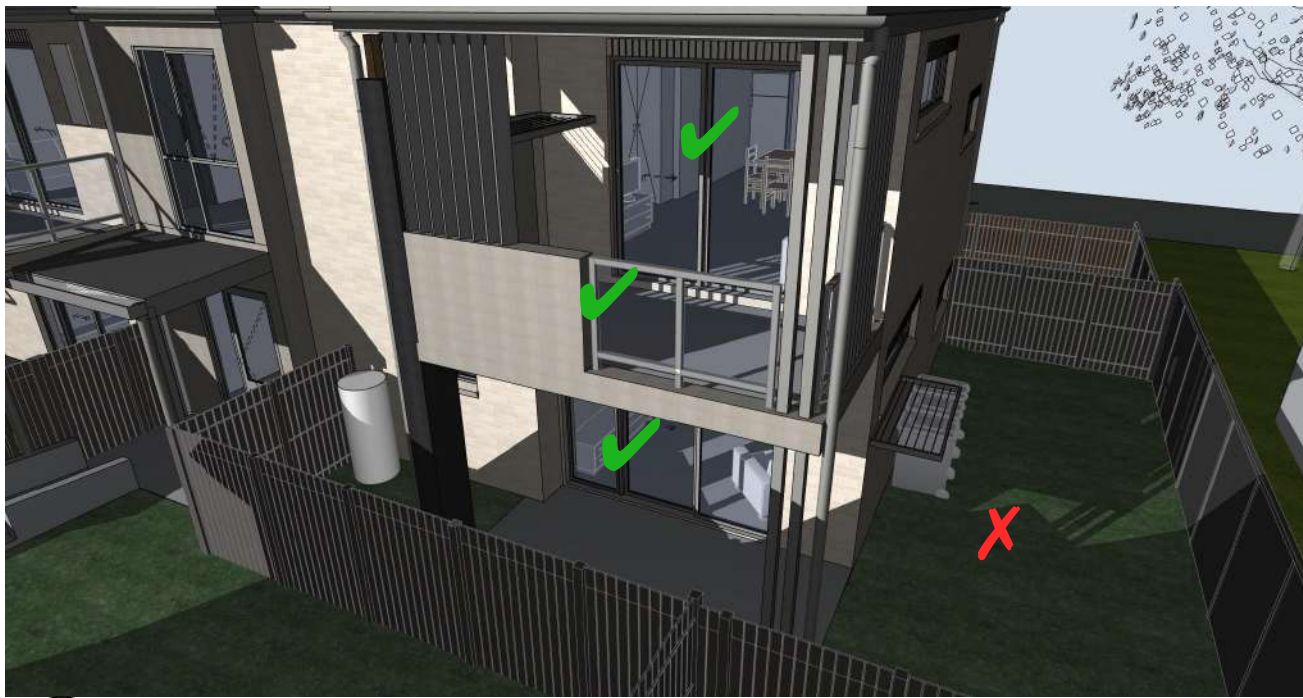
Unit 3 Living = 6hrs  
Unit 3 POS = 7hrs



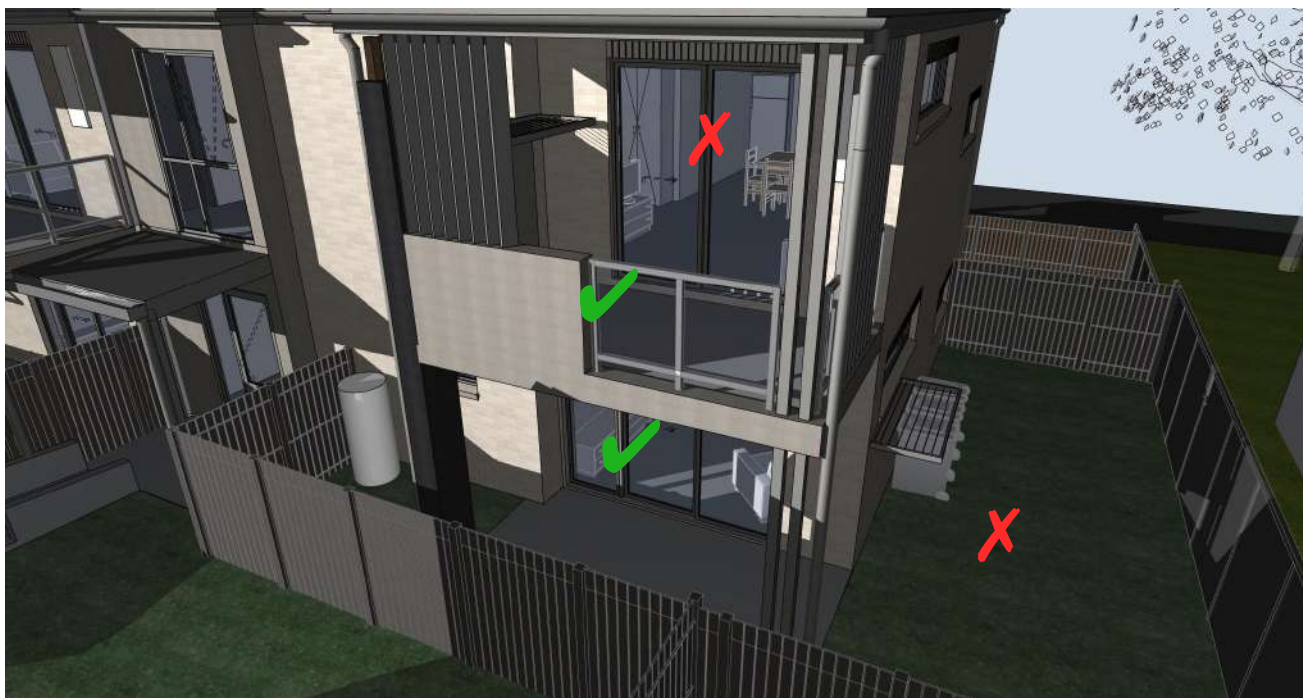
04 Shadow Perspective Units 1 & 3 (12pm June 21)  
not to scale



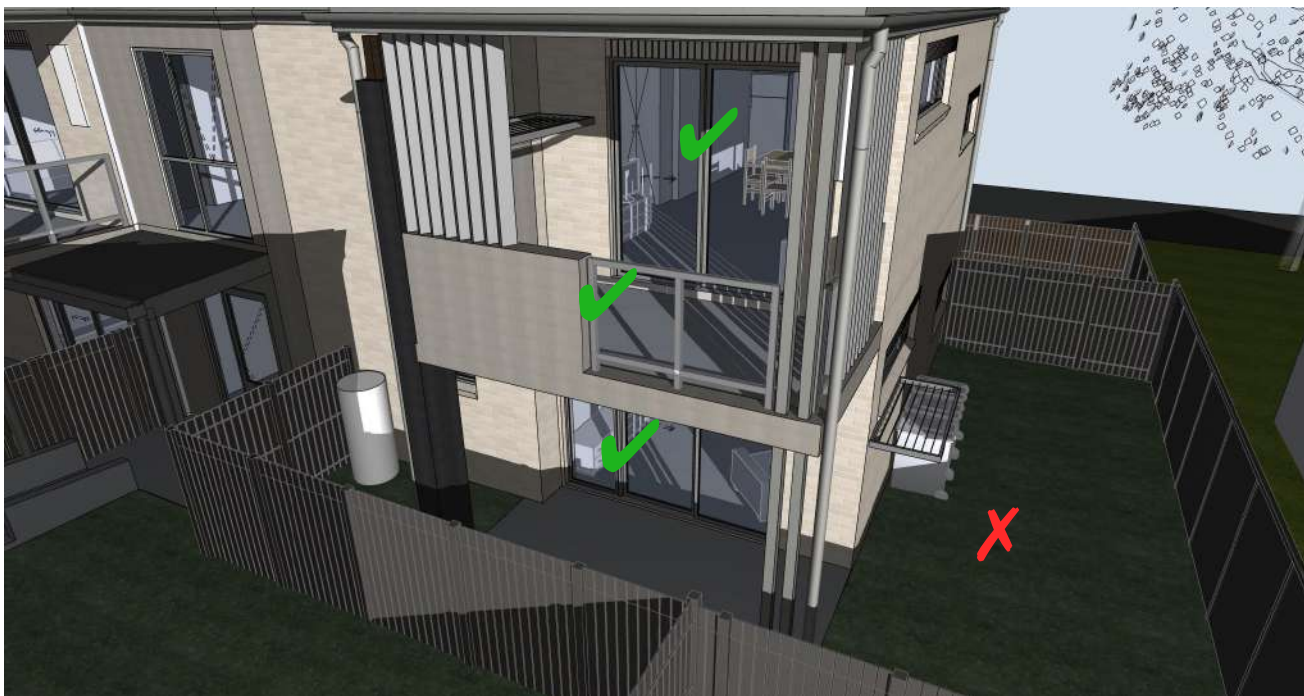
03 Shadow Perspective Units 1 & 3 (11am June 21)  
not to scale



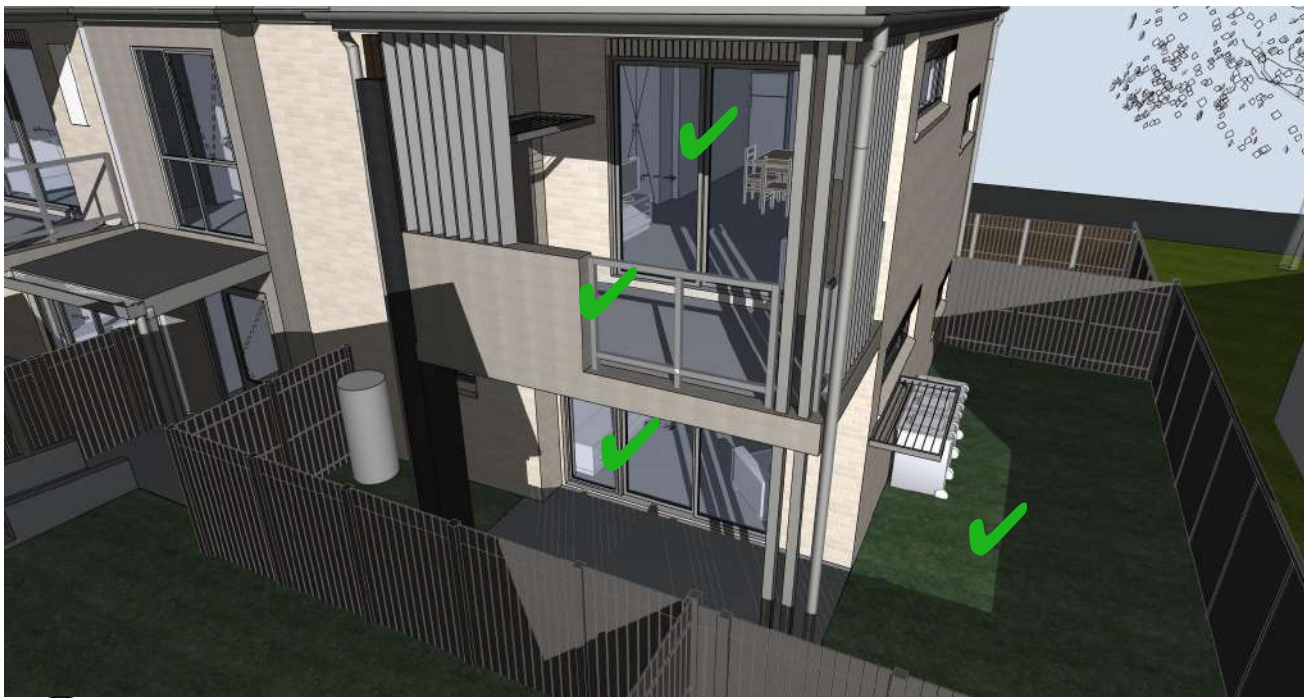
02 Shadow Perspective Units 1 & 3 (10am June 21)  
not to scale



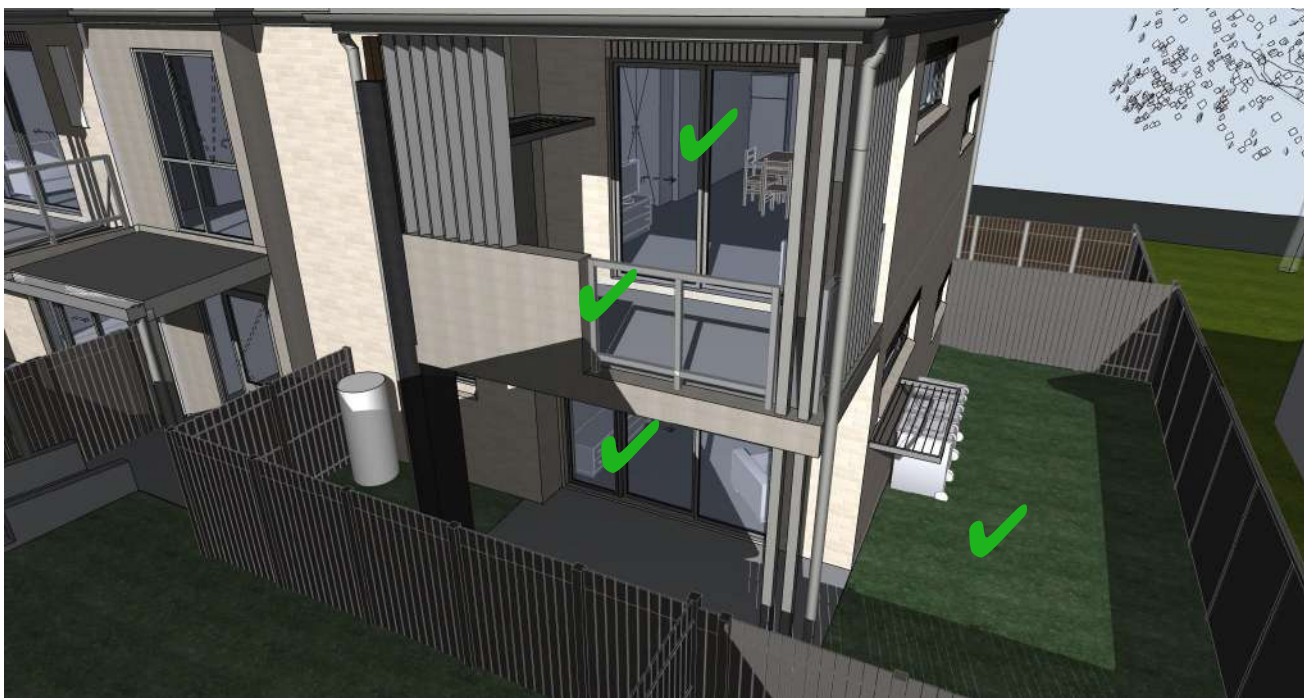
01 Shadow Perspective Units 1 & 3 (9am June 21)  
not to scale



07 Shadow Perspective Units 1 & 3 (3pm June 21)  
not to scale



06 Shadow Perspective Units 1 & 3 (2pm June 21)  
not to scale



05 Shadow Perspective Units 1 & 3 (1pm June 21)  
not to scale

Solar Access

Unit 2 Living = 6hrs  
Unit 2 POS = 4hrs

Unit 4 Living = 4hrs  
Unit 4 POS = 6hrs



11 Shadow Perspective Units 2 & 4 (12pm June 21)  
not to scale



10 Shadow Perspective Units 2 & 4 (11am June 21)  
not to scale



09 Shadow Perspective Units 2 & 4 (10am June 21)  
not to scale



08 Shadow Perspective Units 2 & 4 (9am June 21)  
not to scale



14 Shadow Perspective Units 2 & 4 (3pm June 21)  
not to scale



13 Shadow Perspective Units 2 & 4 (2pm June 21)  
not to scale



12 Shadow Perspective Units 2 & 4 (1pm June 21)  
not to scale

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LAHC

Seniors living Development (x8 Units)  
15-17 Combes Pde & 2-4 Hamel Rd,  
Matraville, NSW

Drawn: CP  
Checked: AT  
Plot date: 23/10/23

Scale: 1:420.185 as noted @ AI

Project No: 2701.21  
LAHC Project No: BGXPR

Drawing No: DA15  
Revision#: DA2

Shadow Analysis (Sht 1)



Solar Access

Unit 5 Living = 3hrs  
Unit 5 POS = 7hrs

Unit 7 Living = 5hrs  
Unit 7 POS = 6hrs



04 Shadow Perspective Units 5 & 7 (12pm June 21)  
not to scale



03 Shadow Perspective Units 5 & 7 (11am June 21)  
not to scale



02 Shadow Perspective Units 5 & 7 (10am June 21)  
not to scale



01 Shadow Perspective Units 5 & 7 (9am June 21)  
not to scale



07 Shadow Perspective Units 5 & 7 (3pm June 21)  
not to scale



06 Shadow Perspective Units 5 & 7 (2pm June 21)  
not to scale



05 Shadow Perspective Units 5 & 7 (1pm June 21)  
not to scale

Solar Access

Unit 6 Living = 4hrs  
Unit 6 POS = 7hrs

Unit 8 Living = 4hrs  
Unit 8 POS = 5hrs



11 Shadow Perspective Units 6 & 8 (12pm June 21)  
not to scale



10 Shadow Perspective Units 6 & 8 (11am June 21)  
not to scale



09 Shadow Perspective Units 6 & 8 (10am June 21)  
not to scale



08 Shadow Perspective Units 6 & 8 (9am June 21)  
not to scale



14 Shadow Perspective Units 6 & 8 (3pm June 21)  
not to scale



13 Shadow Perspective Units 6 & 8 (2pm June 21)  
not to scale



12 Shadow Perspective Units 6 & 8 (1pm June 21)  
not to scale

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Seniors living Development (x8 Units)  
15-17 Combes Pde & 2-4 Hamel Rd,  
Matraville, NSW

Drawn: CP  
Checked: AT  
Plot date: 23/10/23

Scale: 1:420.185 as noted @ AI

Project No: 2701.21  
LAHC Project No: BGXPR

Drawing No: DA16  
Revision#: DA2

Shadow Analysis (Sht 2)





08 Shadow Perspective (6 Hamel Rd) (3pm June 21)  
not to scale



03 Shadow Perspective (6 Hamel Rd) (2pm June 21)  
not to scale



02 Shadow Perspective (6 Hamel Rd) (1pm June 21)  
not to scale



01 Shadow Perspective (6 Hamel Rd) (12pm June 21)  
not to scale



07 Shadow Perspective (11 Combles Pde) (12pm June 21)  
not to scale



06 Shadow Perspective (11 Combles Pde) (11am June 21)  
not to scale



05 Shadow Perspective (11 Combles Pde) (10am June 21)  
not to scale



04 Shadow Perspective (11 Combles Pde) (9am June 21)  
not to scale

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DA1	Part 5 Issue	28/09/23
DA2	Part 5 Issue	25/10/23



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Seniors living Development (x8 Units)  
15-17 Combles Pde & 2-4 Hamel Rd,  
Matraville, NSW

Drawn; CP  
Checked; AT  
Plot date; 23/10/23

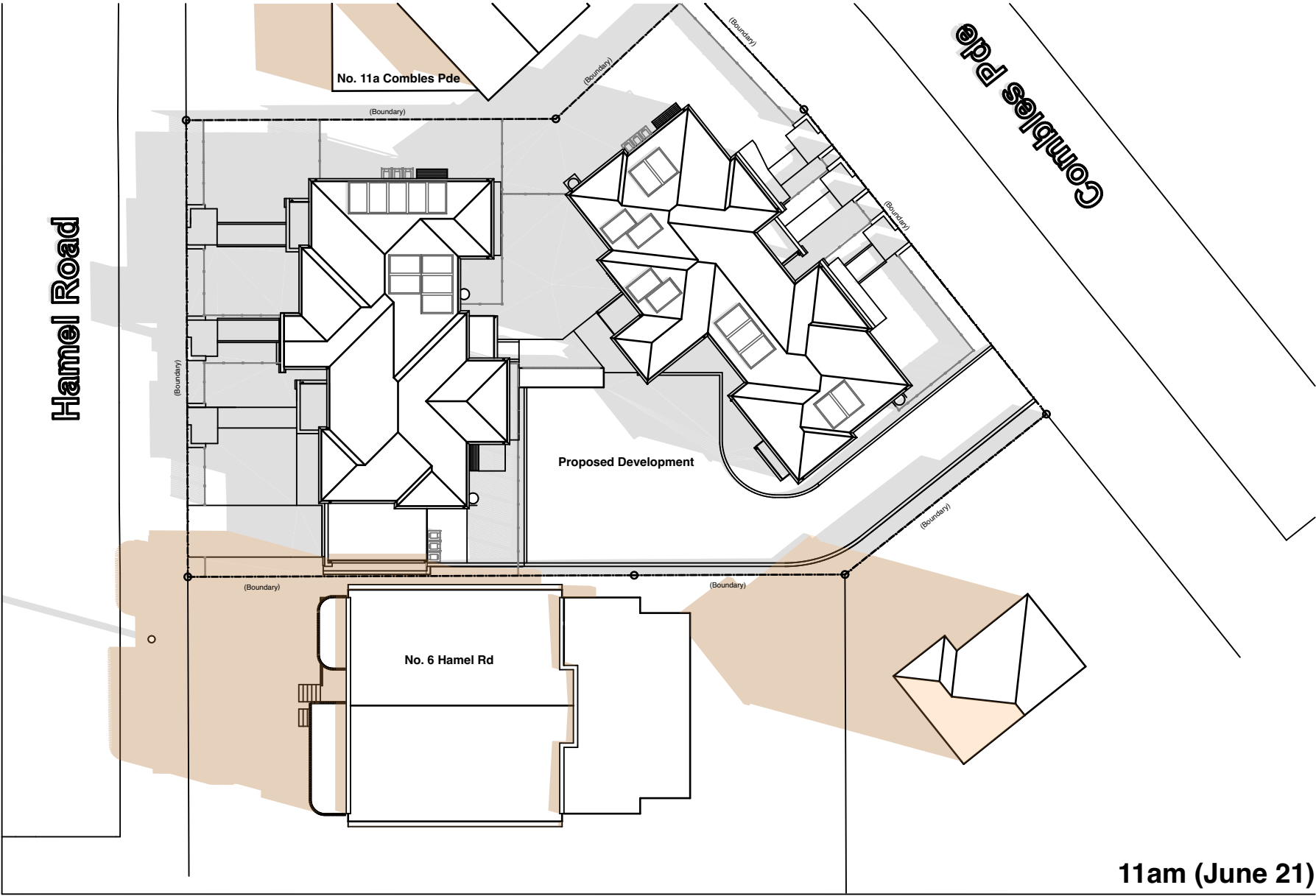
Scale; 1:327.744 as noted @ A1

Project No; 2701.21  
LAHC Project No; BGXPR

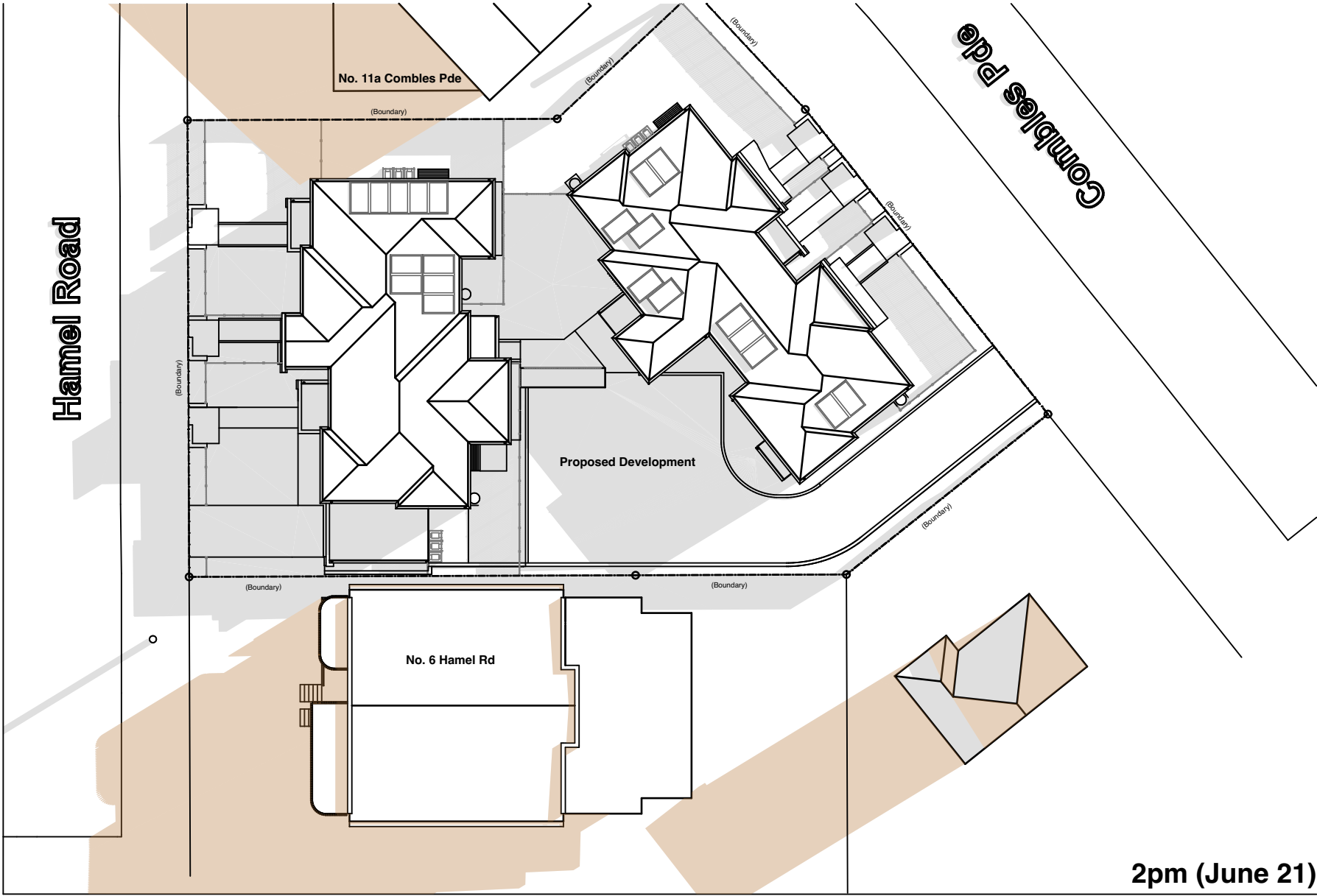
Drawing No; DA17  
Revision#; DA2

Shadow Analysis (Sht 3)

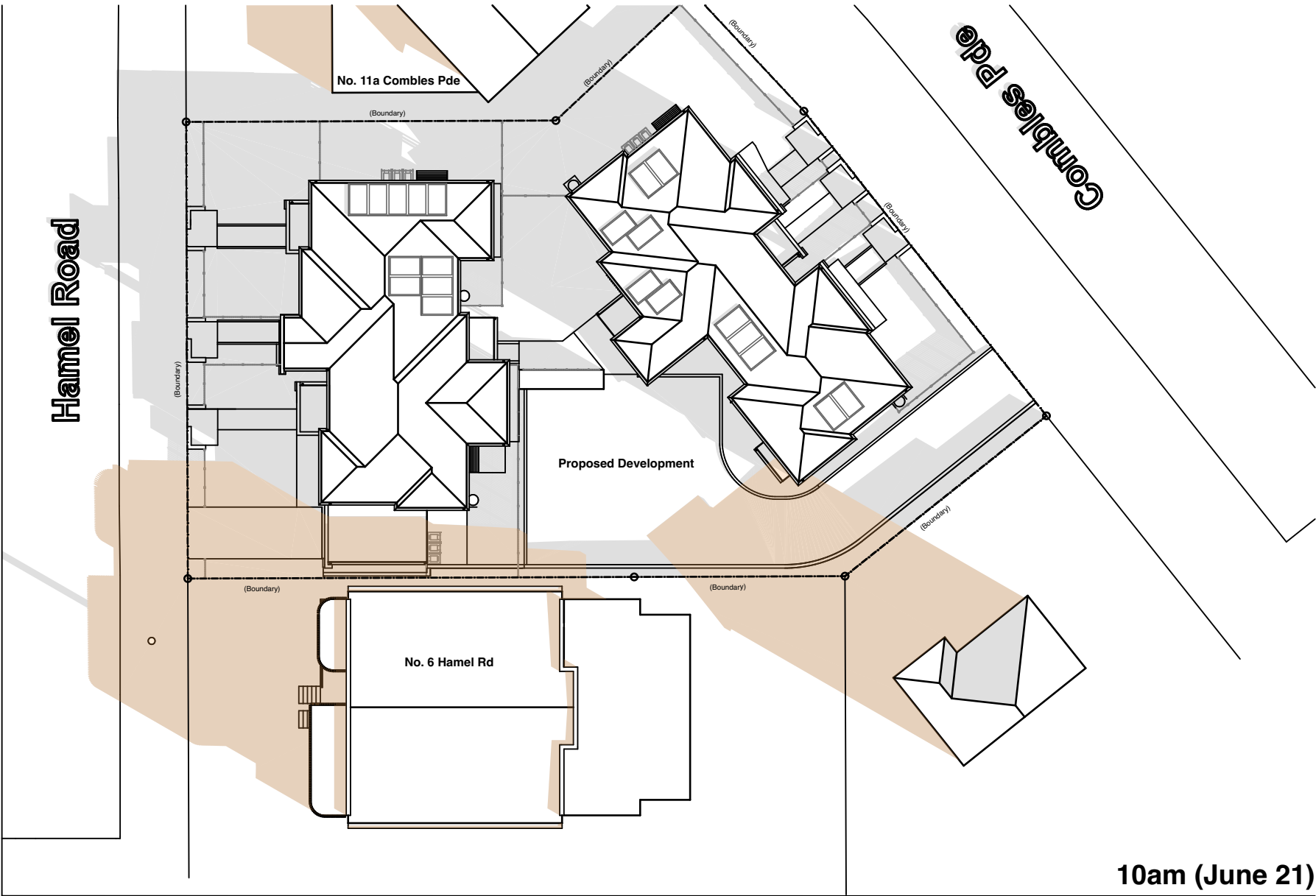




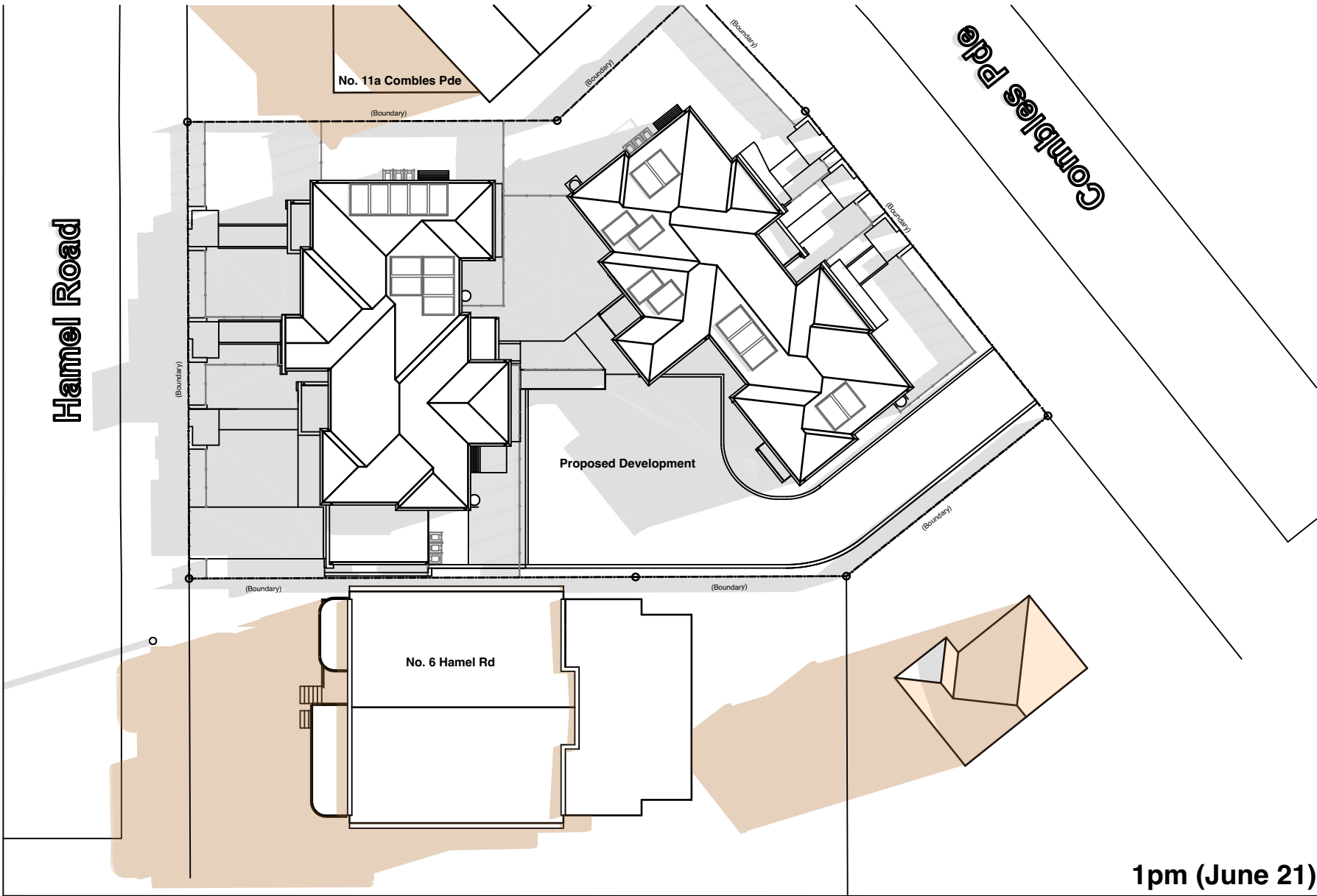
11am (June 21)



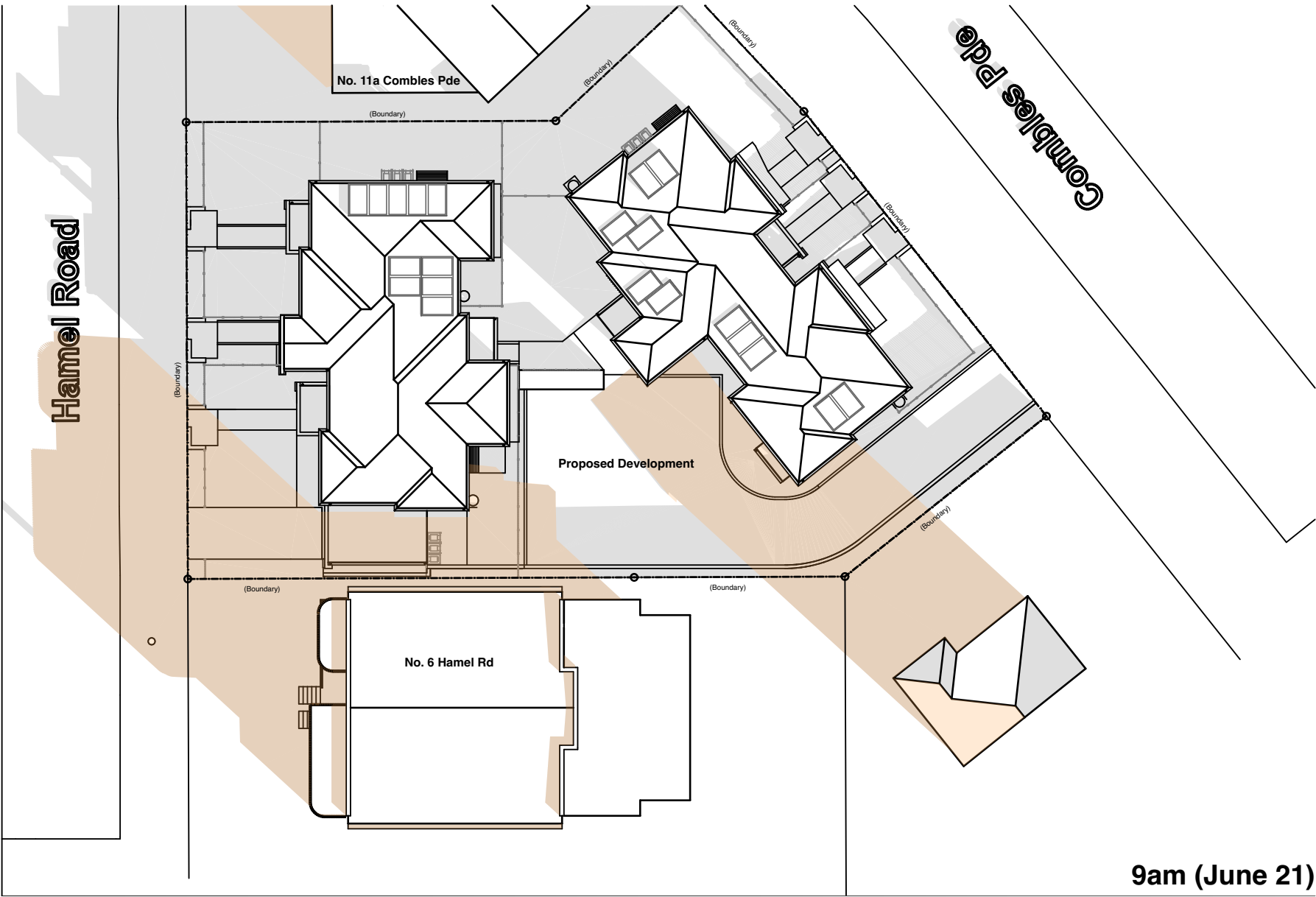
2pm (June 21)



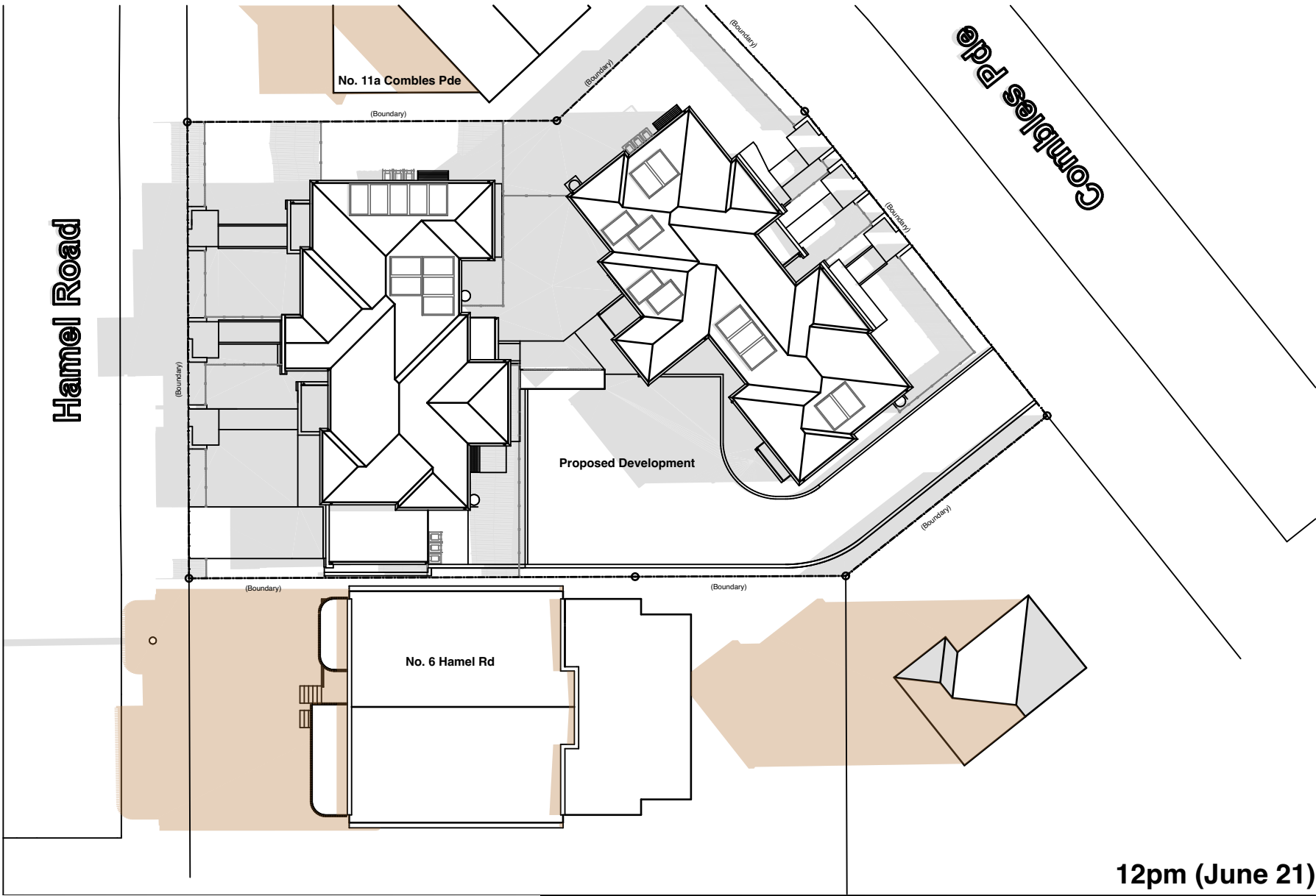
10am (June 21)



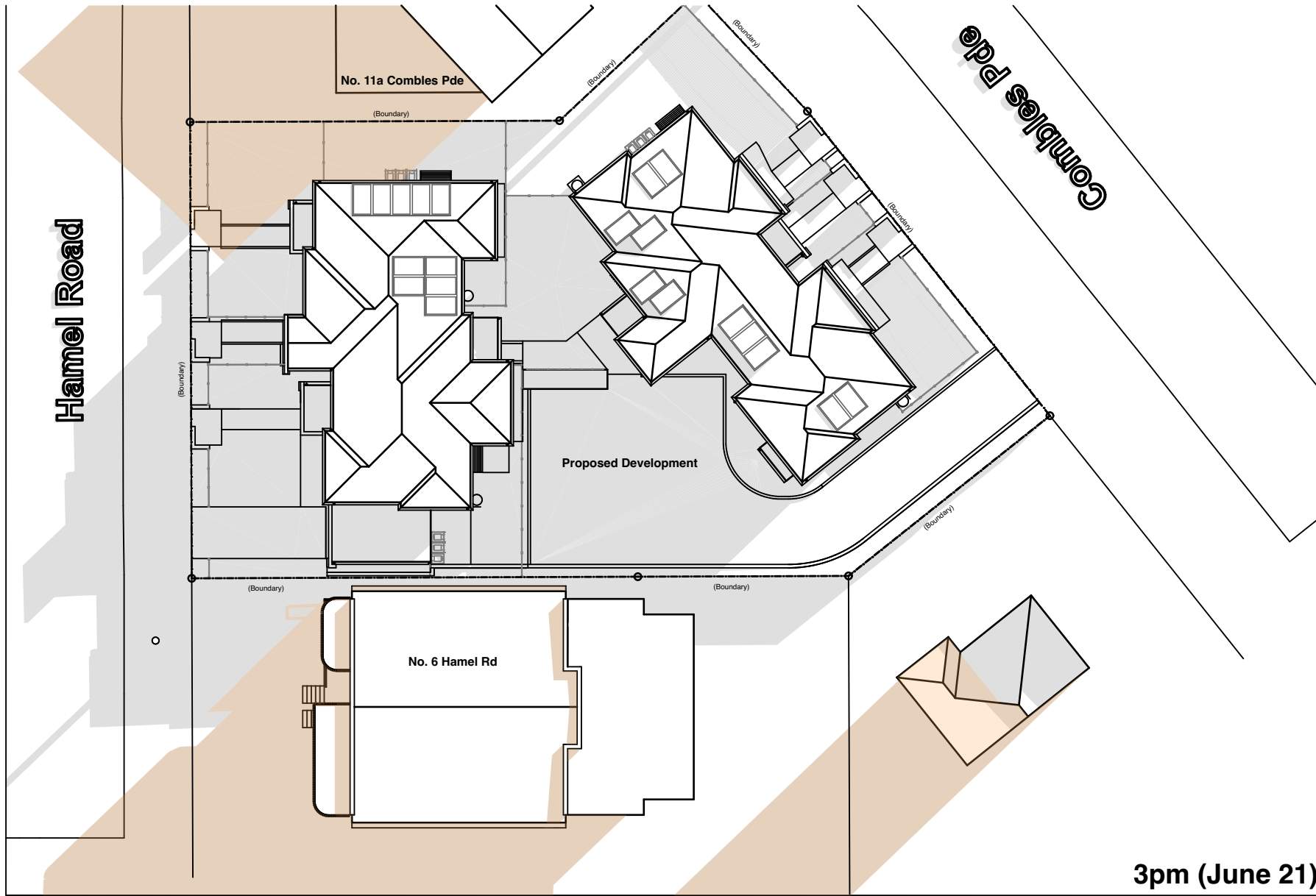
1pm (June 21)



9am (June 21)



12pm (June 21)



3pm (June 21)

**Legend** shadow diagrams  
note: drawing may not contain all items listed below

**note:**  
shadows cast: existing neighbour buildings

**note:**  
shadows cast: proposed buildings

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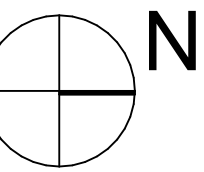
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Seniors living Development (x8 Units)  
15-17 Combes Pde & 2-4 Hamel Rd,  
Matraville, NSW

Drawn: CP  
Checked: AT  
Plot date: 23/10/23

Scale: 1:323.179 as noted @ A1

Project No:	LAHC Project No:
2701.21	BGXPR
Drawing No:	Revision#:
DA18	DA2

Shadow Analysis (Sht 4)





Combles Pde Perspective (North)



Hamel Rd Perspective



Internal Perspective 1



Internal Perspective 2



Aerial Perspective 1



Aerial Perspective 2

Rev	Issue	Date
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DA2	Part 5 Issue	25/10/23



LAHC

Seniors living Development (x8 Units)  
15-17 Combles Pde & 2-4 Hamel Rd,  
Matraville, NSW

Drawn; CP  
Checked; AT  
Plot date; 23/10/23

Scale; as noted @ A1

Project No; 2701.21  
LAHC Project No; BGXPR

Drawing No; DA19  
Revision#; DA2

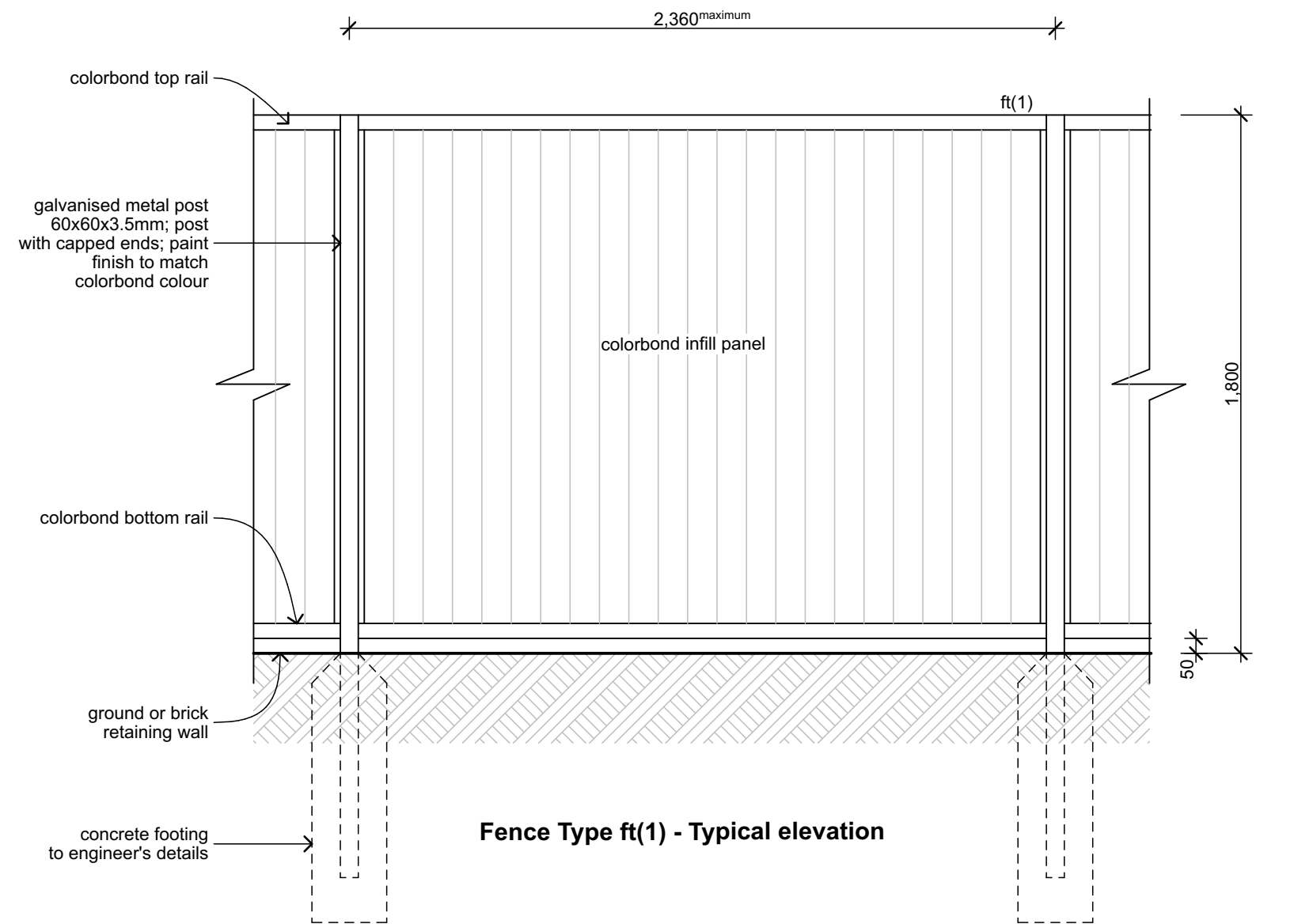


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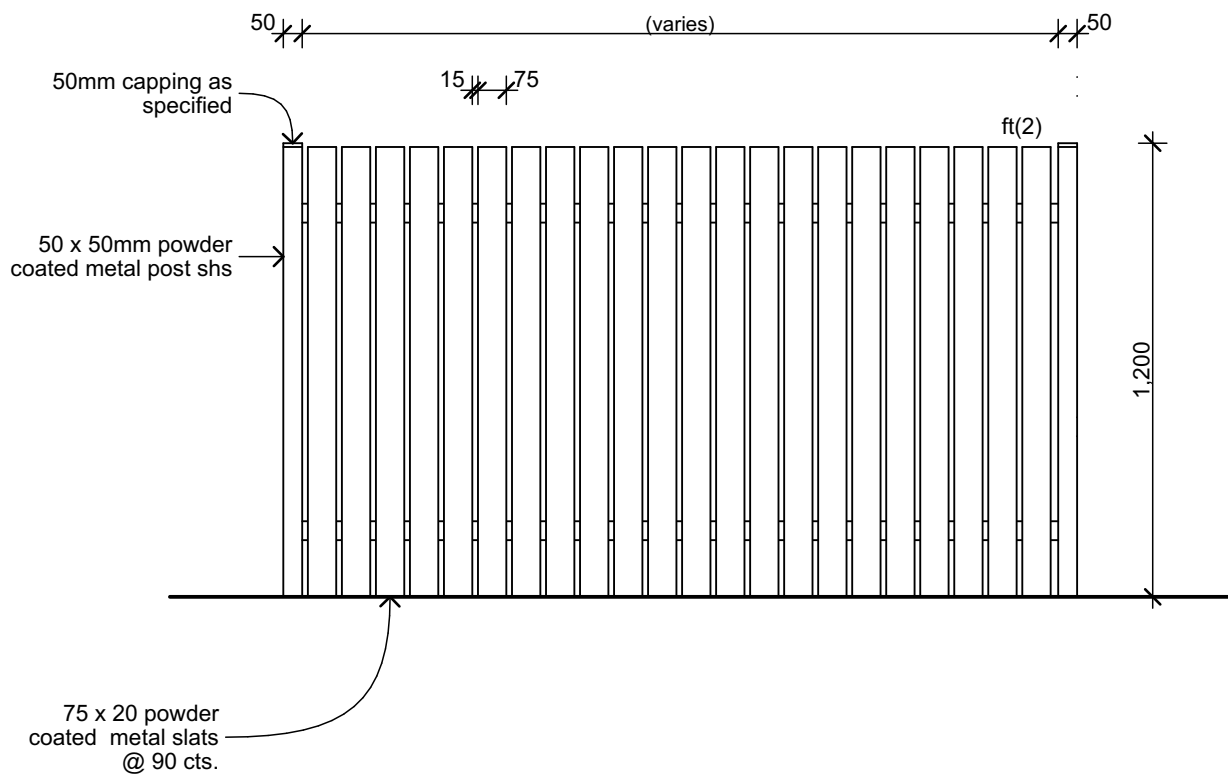
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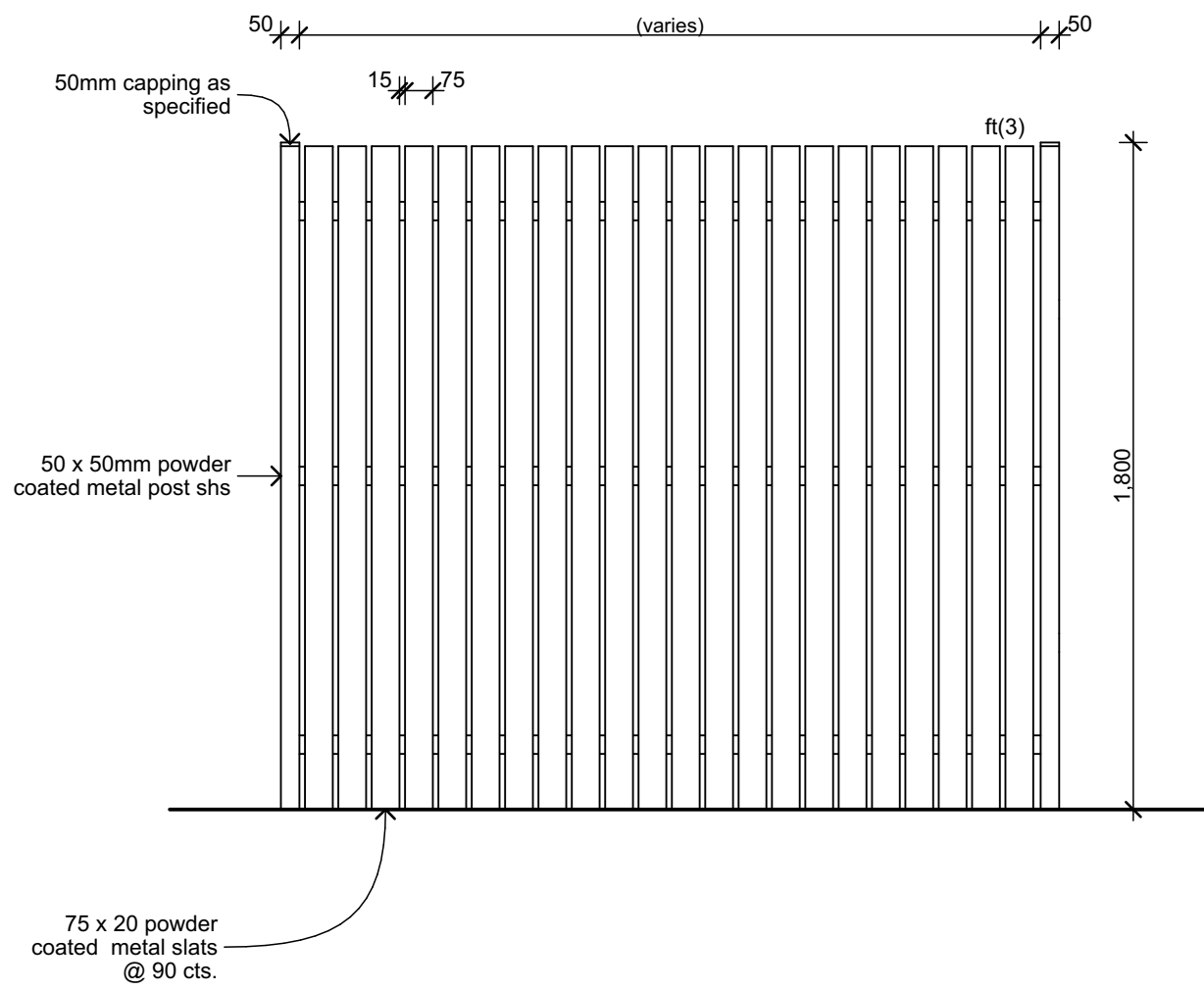
Rev	Issue	Date
DAP1	Draft Part 5 Issue	19/09/23
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Fence Type ft(1) - Typical elevation

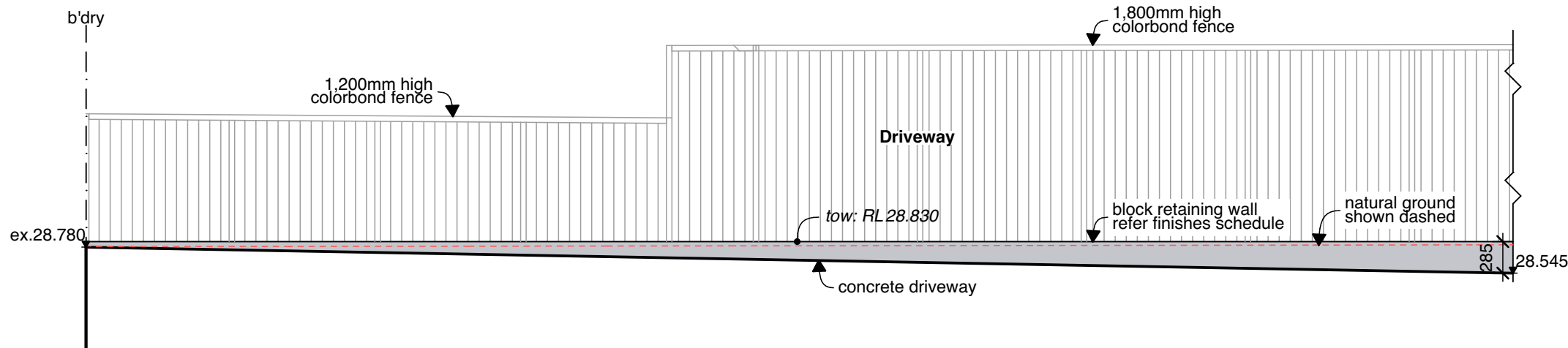


Fence Type ft(2) - Typical elevation

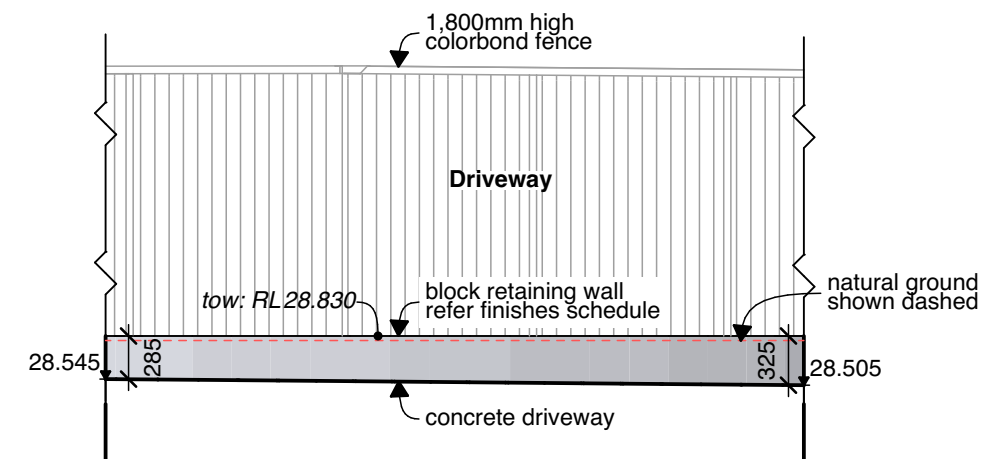


Fence Type ft(3) - Typical elevation

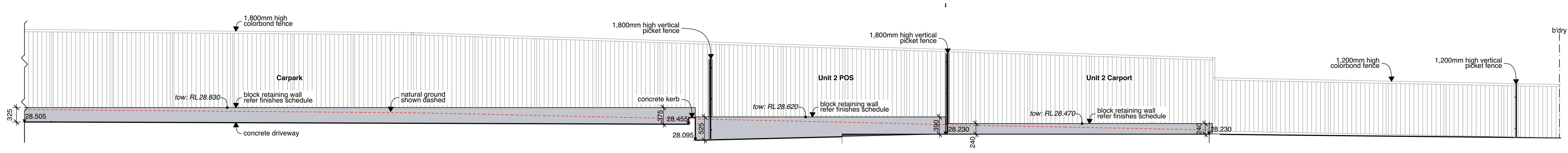
## 01 Fence Details 1:20



## 02 Retaining Wall Elevation 1:50



## 03 Retaining Wall Elevation cont. 1:50



## 04 Retaining Wall Elevation cont. 1:50



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Seniors living Development (x8 Units)  
15-17 Combles Pde & 2-4 Hamel Rd,  
Matraville, NSW

Drawn: CP  
Checked: AT  
Plot date: 23/10/23

Scale: 1:20, 1:50 as noted @ A1

Project No: 2701.21  
LAHC Project No: BGXPR

Drawing No: DA20  
Revision#: DA2

Fence & Retaining Wall  
Details